



**Property Information Summary**

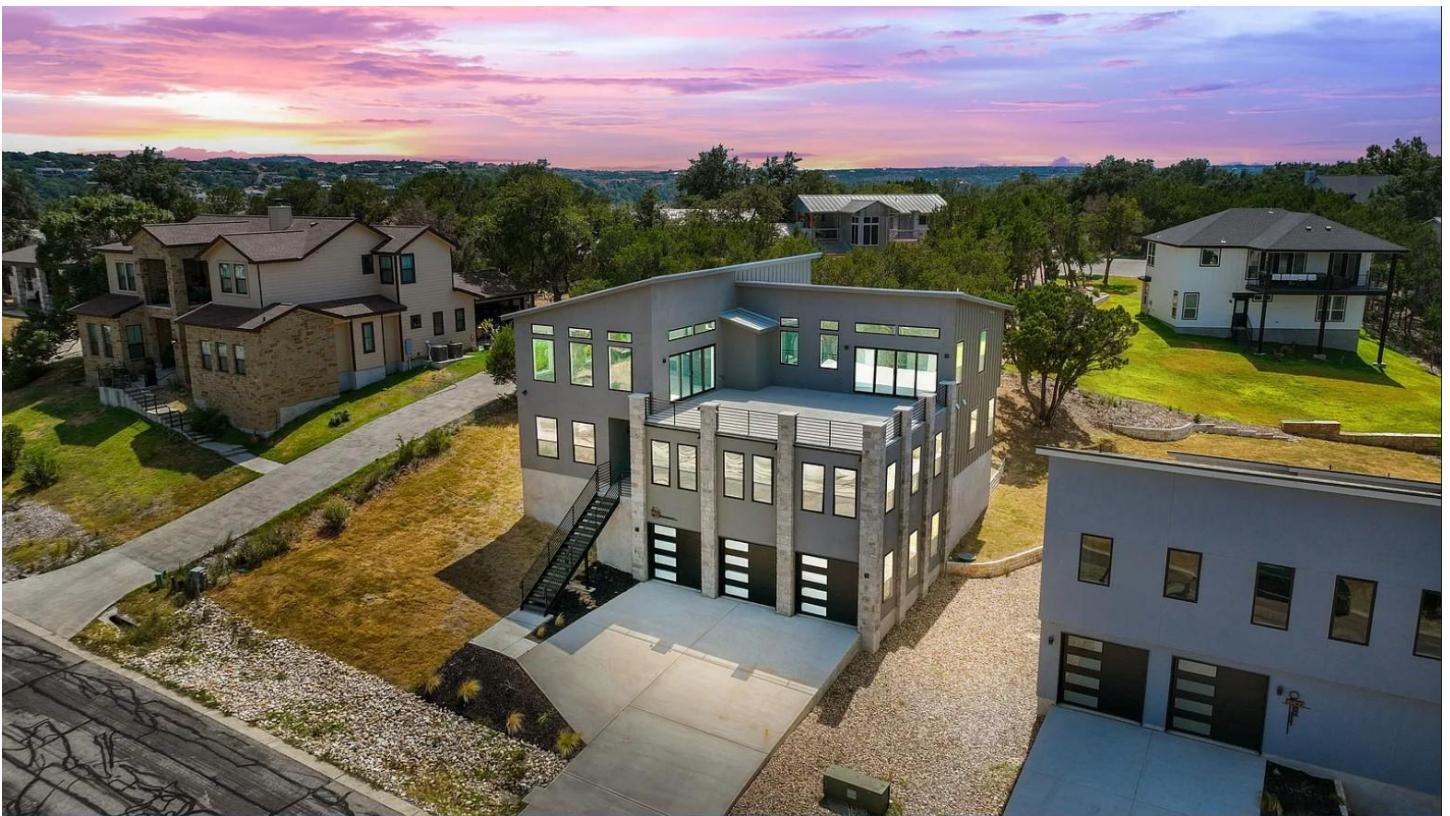
**18402 Lakeland Dr  
Lago Vista, TX 78645**

**On-Line Auction:**

<https://davidackelauctions.hibid.com/preview/626480/18402-lakeland-dr-lago-vista--tx-78645>

**Auction Dates:**

April 2nd, 2025-May 7th, 2025



David Ackel Auctions, LLC.  
Proprietary & Confidential



# PHOTO GALLERY

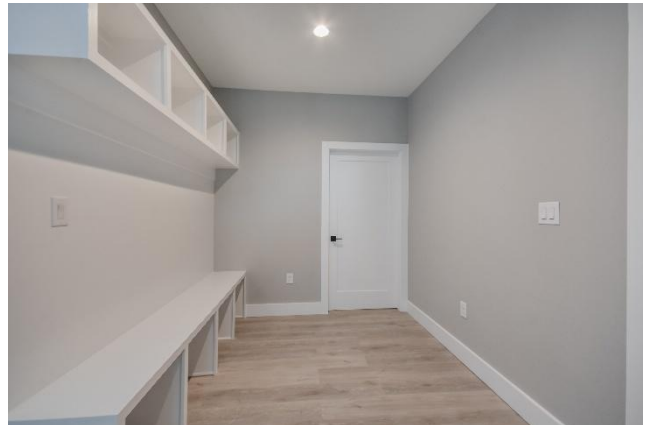






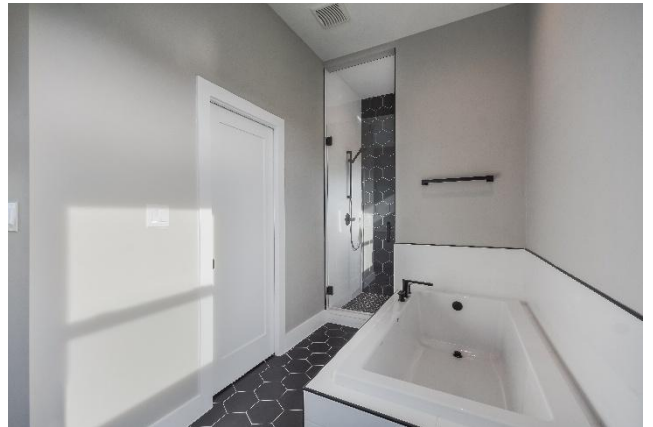
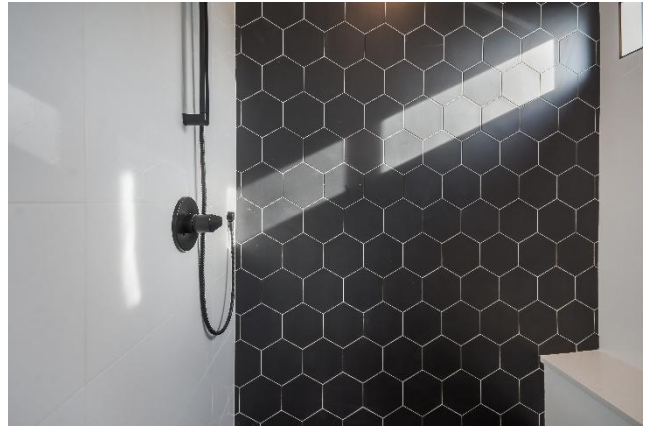












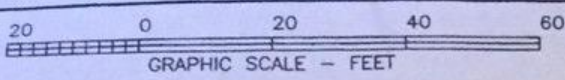












**LEGEND**

- WOOD FENCE
- WIRE FENCE
- CHAIN LINK
- UTILITY LINE
- WROUGHT IRON
- A/C UNIT
- ELEC. TRANS.
- ELEC. METER
- GAS METER
- WATER METER
- TELE. PED.
- C.A.T.V. PED.
- UTILITY POLE
- FIRE HYDRANT

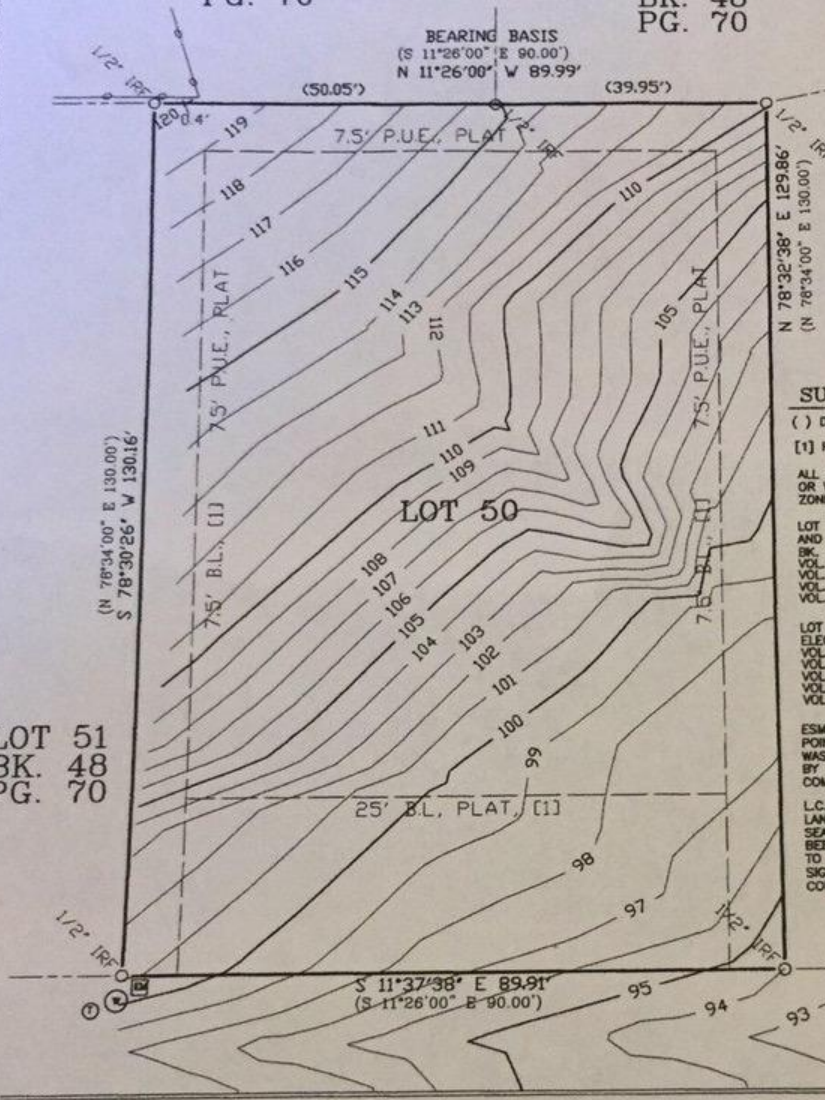
LOT 36  
BK. 48  
PG. 70

LOT 37  
BK. 48  
PG. 70

LOT 49  
BK. 48  
PG. 70

LOT 51  
BK. 48  
PG. 70

BEARING BASIS  
(S 11°26'00" E 90.00')  
N 11°26'00" W 89.99'



**SURVEYOR'S NOTES**

( ) DENOTES RECORD INFORMATION

[1] PER VOL. 3790, PG. 1328.

ALL POINTS DOES NOT MAKE OR WARRANT ANY FLOOD ZONE DETERMINATION.

LOT 50 IS SUBJECT TO ESMT. RIGHTS AND RESTRICTIONS AS STATED IN:  
BK. 48, PG. 70  
VOL. 3790, PG. 1328  
VOL. 11444, PG. 480  
VOL. 12625, PG. 812  
VOL. 13341, PG. 324

LOT 50 IS SUBJECT TO THE FOLLOWING ELEC. AND TEL. ESMTS.:  
VOL. 3810, PG. 1550  
VOL. 587, PG. 440  
VOL. 801, PG. 536  
VOL. 675, PG. 428  
VOL. 678, PG. 127

ESMT. RESEARCH PERFORMED BY ALL POINTS AND THE UNDERSIGNED SURVEYOR WAS LIMITED TO INFORMATION SUPPLIED BY FIRST AMERICAN TITLE INS. CO. PER COMMITMENT G.F.# 593875-AU40 ONLY.

L.C.R.A. HAS THE RIGHT TO INUNDATE LANDS LYING UP TO 715' ABOVE MEAN SEA LEVEL. THIS TOPO. MAP HAS NOT BEEN PREPARED WITH ELEVATIONS RELATIVE TO ABOVE MEAN SEA LEVEL. THE UNDERSIGNED HAS NOT DETERMINED IF THE 715' CONTOUR ENTERS LOT 50.

**18402 LAKELAND DRIVE (50' R.O.W.)**

LOT No. 50 BLOCK 48 SUBDIVISION / ADDITION POINT VENTURE  
 SECTION 1 PHASE --- Book 48 Page(s) 70 Cabinet --- PLAT RECORDS  
 CITY TRAVIS COUNTY, TEXAS Street Address: 18402 LAKELAND DRIVE Slide ---  
 Reference: MARISELA C. PEREZ

	By	Date
FIELD WORK	PR	04-11-08
DRAFTING	SCN	04-12-08
FINAL CHECK		
CORRECTIONS		
UP DATE		

TO THE LIENHOLDERS AND/OR OWNERS OF THE PREMISES AND/OR FIRST AMERICAN TITLE INSURANCE COMPANY / AMERICAN HOMEFRONT MORTGAGE

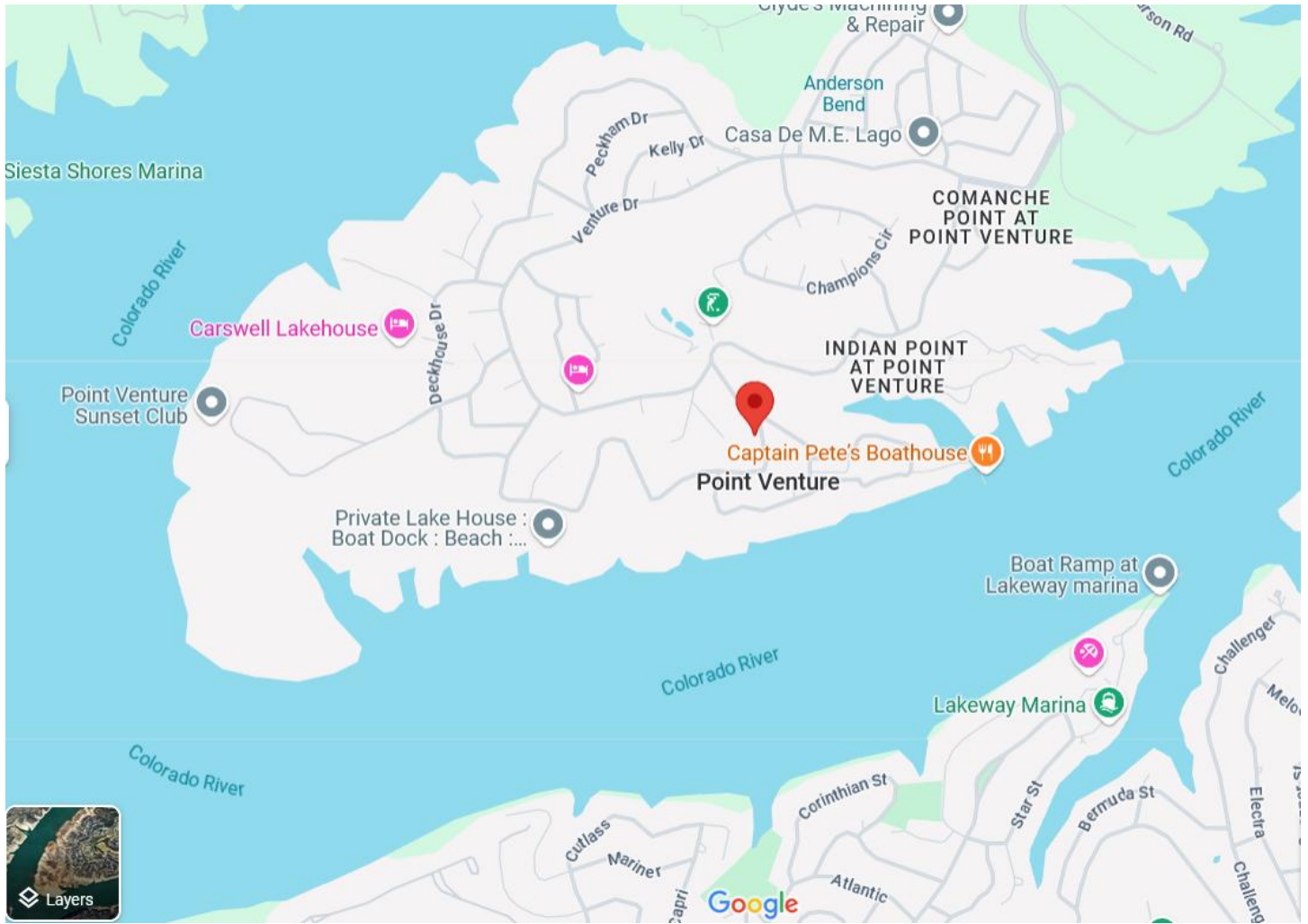
The undersigned certifies that this survey was this day made by me or under my supervision on the ground of the real property shown on the survey, and, after the exercise of professional diligence and reasonable care and in reliance on record searches by the title company that this survey is correct to the best of the undersigned's knowledge and belief; that there are no visible discrepancies, conflicts, shortages in area, or boundary conflicts or visible encroachments, protrusions or overlapping of improvements, except as shown hereon; and that the property has access to and from a roadway, except as shown hereon.

DATE 04-12-08  
 TITLE CO. FIRST AMERICAN  
 G.F. No. 593875-AU40  
 Job No. 04R08408  
 SCALE: 1"=20'



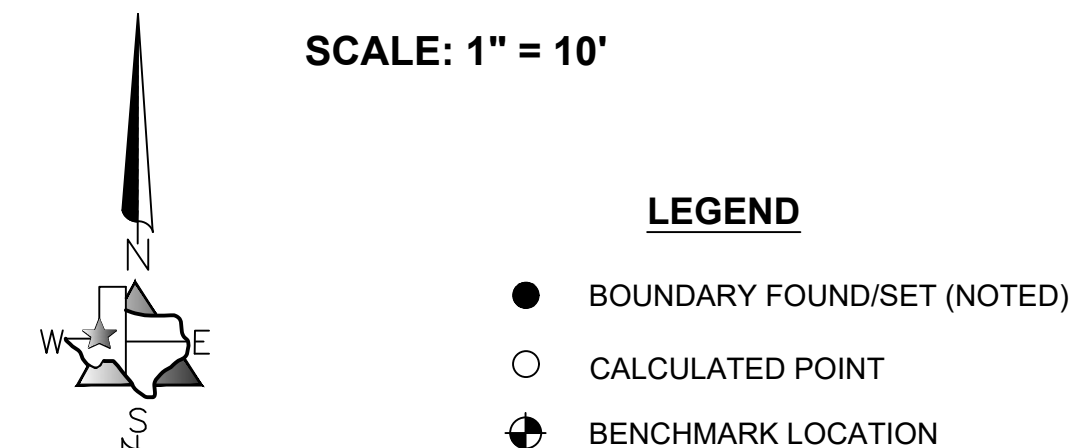
**ALL POINTS SURVEYING**  
 611 SOUTH CONGRESS AVENUE - SUITE 100  
 AUSTIN TX. 78704  
 TELE: (512) 440-0071 - FAX (512) 440-0199

# 18402 Lakeland Dr Lago Vista, TX 78645





A CONSTRUCTION SURVEY OF THE EXISTING CONDITIONS OF THE REQUESTED BUILDING FORM LOCATED ON A PORTION OF A 0.269 ACRE (APPROX. 11,707 Sq. Ft.) TRACT OF LAND, SITUATED IN THE CC BROWNING SURVEY, SECTION No. 412, ABSTRACT No. 76, LOCATED IN TRAVIS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS LOT 50, POINT VENTURE SECTION ONE, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN VOLUME 48, PAGE 70 OF THE PLAT RECORDS OF TRAVIS COUNTY, TEXAS, AND BEING THAT SAME TRACT OF LAND DESCRIBED IN THAT CERTAIN GENERAL WARRANTY DEED, CONVEYED TO LIEBOWITZ REALTY GROUP, INC., DATED DECEMBER 18, 2019 AND APPEARING OF RECORD UNDER DOCUMENT No. 2019200044 OF THE OFFICIAL PUBLIC RECORDS OF TRAVIS COUNTY, TEXAS.



- NOTES:**
- PROJECT NAME: 18402 LAKELAND DRIVE
  - PROJECT PERMIT No.
  - ADDRESS: 18402 LAKELAND DRIVE  
LAGO VISTA, TEXAS 78645
  - THIS SURVEY IS NOT A FORM CORRECTION SKETCH, AND DOES NOT SHOWN ANY ERRORS OR DISCREPANCIES BETWEEN THE PROPOSED BUILDING AND THE EXISTING FORM OR SLAB CONDITIONS. IT IS THE CLIENT AND/OR OWNERS RESPONSIBILITY TO REQUEST A VERIFICATION SKETCH OF VERIFY THE DIMENSIONS SHOWN HEREON TO CHECK IF THE EXISTING FORM OR SLAB WAS BUILT AND PLACED PER PLAN.
  - BEARINGS ARE BASED ON THE TEXAS COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983, CENTRAL ZONE 4203.
  - GRID DISTANCES SHOWN ARE IN U.S. SURVEY FEET
  - ELEVATIONS FOR THIS SITE ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM (NAVD 1988), UTILIZING GEOID 12B.
  - THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR RESTRICTIONS AFFECTING THE SUBJECT TRACT THAT ARE NOT SHOWN OR DESCRIBED HEREON.
  - THE SUBJECT TRACT SHOWN HEREON LIES WITHIN FLOOD ZONE "X" (UNSHADED) ACCORDING TO THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE VILLAGE OF POINT VENTURE, TEXAS, DEVELOPED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), DATED JANUARY 22, 2020, UNDER FIRMETTE No. 48453C0215J.
  - ZONE "X" UNSHADED: (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRMS AS ABOVE THE 500-YEAR FLOOD LEVELS).
- THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES HEREON, WILL BE FREE FROM FLOODING OR FLOOD DAMAGE AND SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.
- THE SUBJECT TRACT IS CURRENTLY UNDER CONSTRUCTION. THERE MAY BE ADDITIONAL SITE IMPROVEMENTS AND UTILITIES NOT SHOWN HEREON.

**SURVEYOR'S CERTIFICATE:**

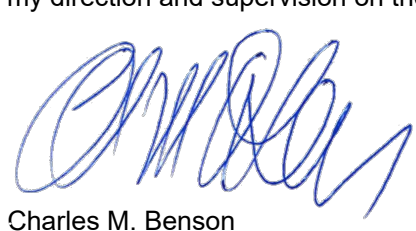
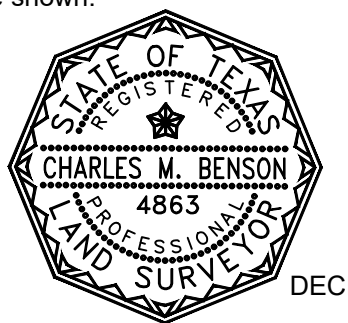
CERTIFIED TO:

- LIEBOWITZ REALTY GROUP, LLC
- 9 DESIGN CUSTOM BUILDERS, INC.

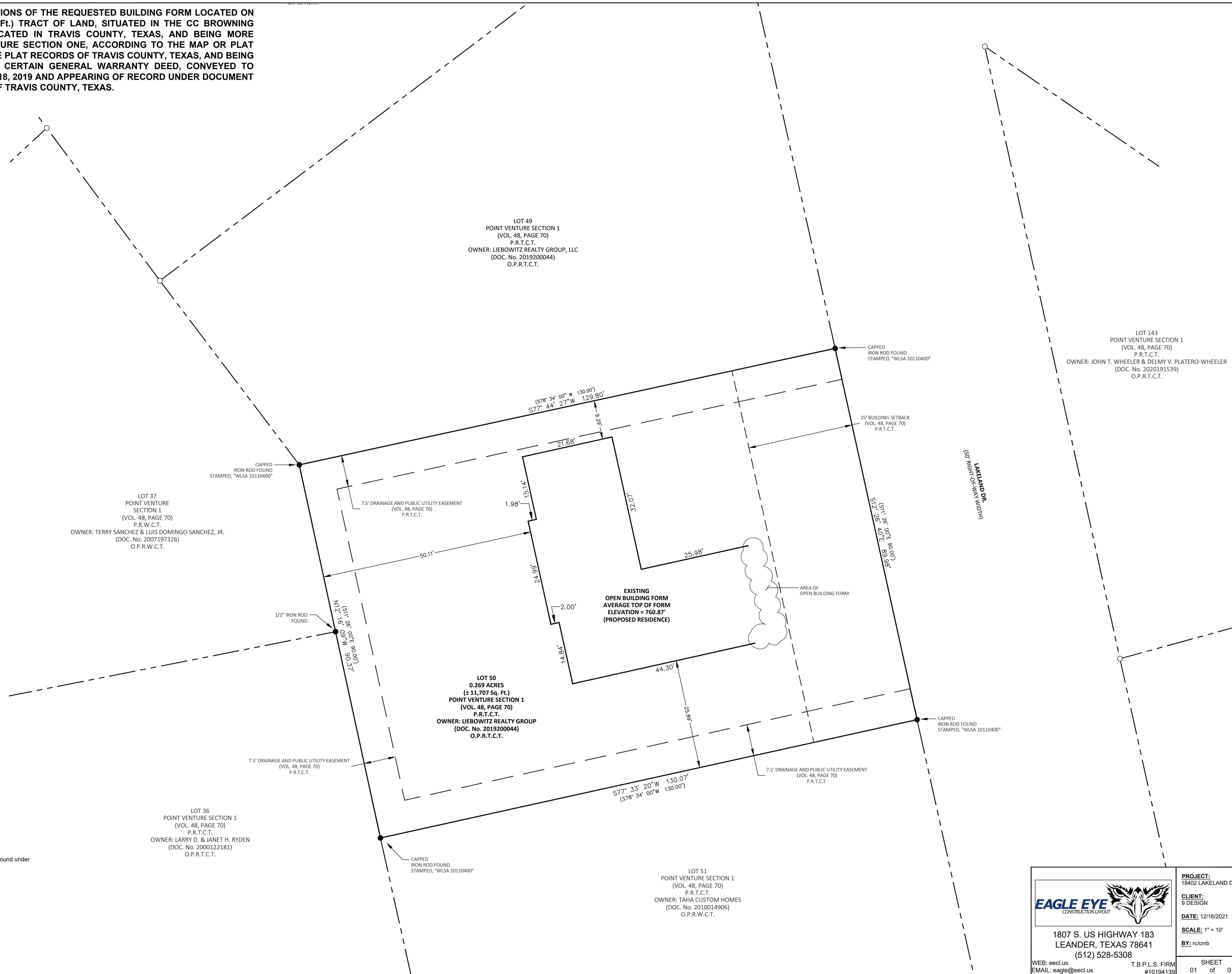
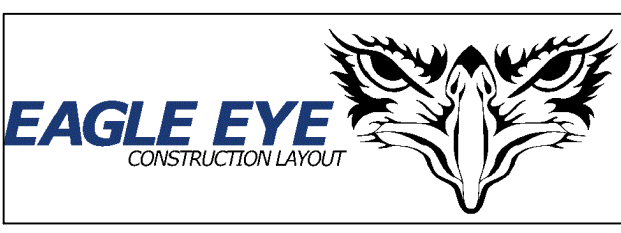
SURVEY COMPLETED ON: DECEMBER 02, 2021.

ATTACHMENTS: NONE

I hereby certify that a survey of the property shown hereon was actually made upon the ground under my direction and supervision on the date shown.

Charles M. Benson  
Registered Professional Land Surveyor  
State of Texas No. 4863  
DECEMBER 16, 2021

**PROJECT:** 18402 LAKELAND DR.  
**CLIENT:** 9 DESIGN  
**DATE:** 12/16/2021  
**SCALE:** 1" = 10'  
**BY:** r/cmb

1807 S. US HIGHWAY 183  
LEANDER, TEXAS 78641  
(512) 528-5308

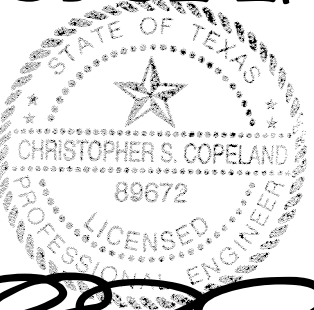
WEB: eecl.us  
EMAIL: eagle@eecl.us

T.B.P.L.S. FIRM  
#10194139

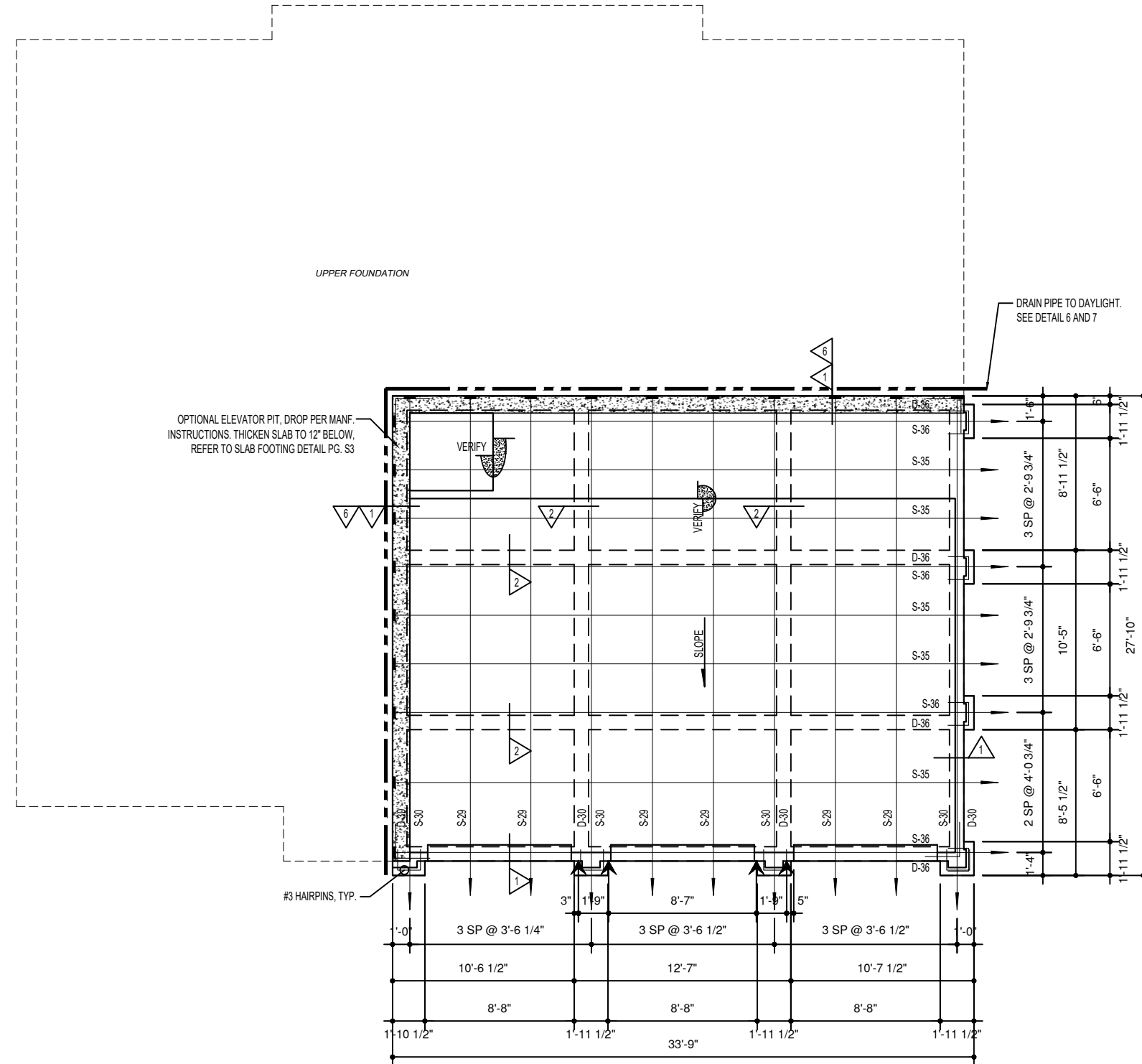
**SHEET**  
01 of 01

LOWER FOUNDATION PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



OPTIONAL ELEVATOR PIT, DROP PER MANF. INSTRUCTIONS. THICKEN SLAB TO 12" BELOW. REFER TO SLAB FOOTING DETAIL PG. S3

DRAIN PIPE TO DAYLIGHT. SEE DETAIL 6 AND 7

UPPER FOUNDATION

VERIFY

VERIFY

SLOPE

#3 HAIRPINS, TYP.

BUILDER TO VERIFY ALL SLAB DROPS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONCRETE PLACEMENT. THE ARCHITECTURAL PLANS ARE THE CONTROL SET TO USE.

▲ STHD14 WET-SET STRAP

SLAB THICKNESS	= 4 in
BEAM CABLES	= 1
BEAM WIDTH	= 12 in
BEAM DEPTH	= 24 in
MIN PENETRATION	= 12 in

**ESTIMATES**

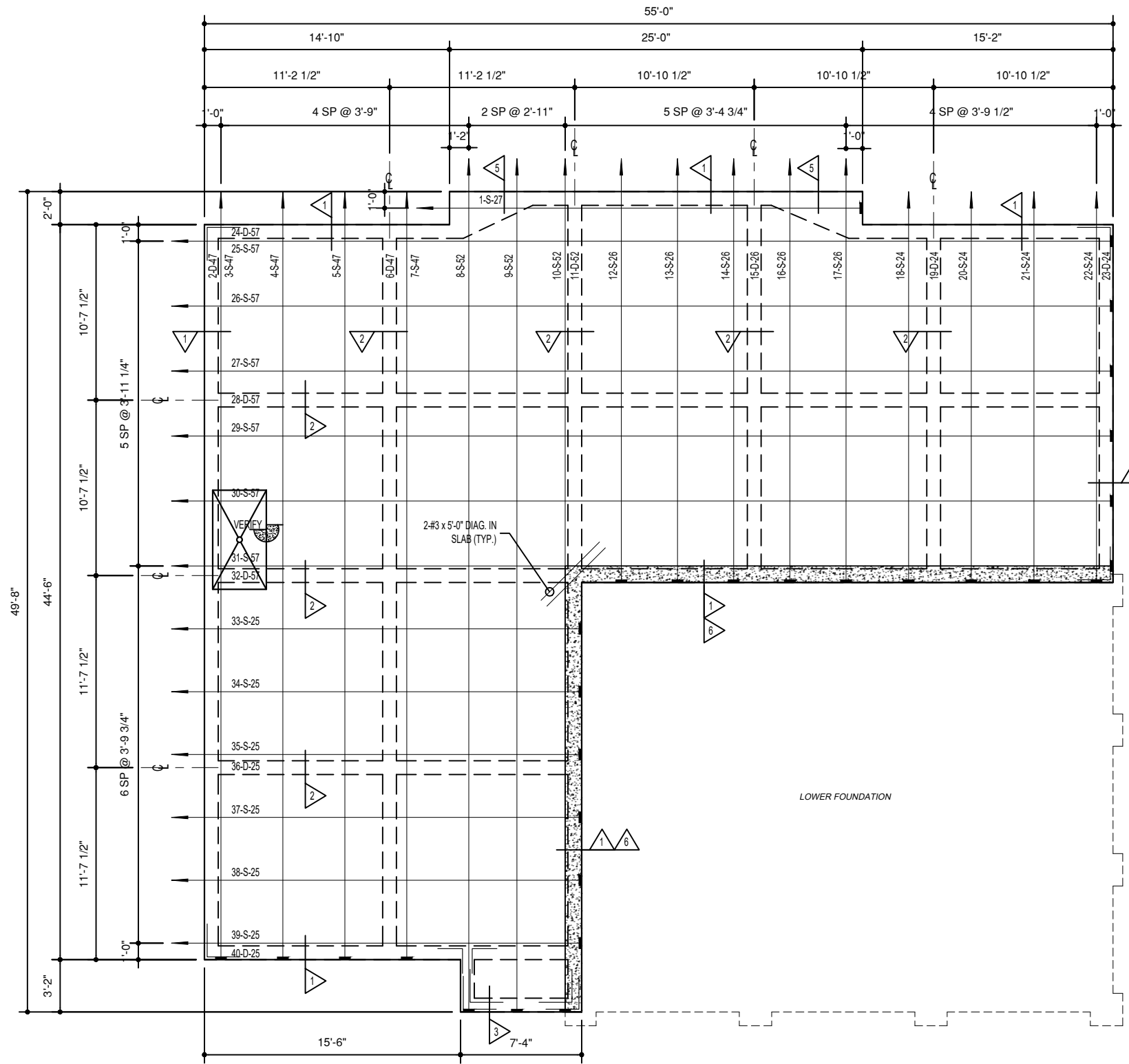
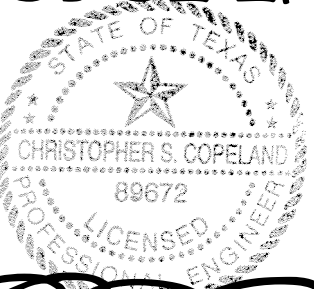
Square Footage (ft <sup>2</sup> ):	906
Concrete Volume (yd <sup>3</sup> ):	28
Cable (ft):	776
No. of Beam Cables:	8
No. of Slab Cables:	16

LOT: BLOCK: SECTION: PHASE: BY: ALE  
 18402 LAKELAND DRIVE LAGO VISTA POINT VENTURE  
 2-26-21 9 DESIGN CUSTOM BUILDERS



UPPER FOUNDATION PLAN  
1/8" = 1'-0"

03.02.21



BUILDER TO VERIFY ALL SLAB DROPS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONCRETE PLACEMENT. THE ARCHITECTURAL PLANS ARE THE CONTROL SET TO USE.

ELONGATION TABLE (IN)		
LENGTH (FT)	ELONGATION +3-1/2"	ELONGATION +12"
24	5.17	13.67
25	5.25	13.75
26	5.32	13.82
27	5.40	13.90
47	6.92	15.42
52	7.30	15.80
57	7.68	16.18

▲ STHD14 WET-SET STRAP  
 SLAB THICKNESS = 4 in  
 BEAM CABLES = 1  
 BEAM WIDTH = 12 in  
 BEAM DEPTH = 24 in  
 MIN PENETRATION = 12 in

ESTIMATES	
Square Footage (ft <sup>2</sup> ):	1786
Concrete Volume (yd <sup>3</sup> ):	52
Cable (ft):	1530
No. of Beam Cables:	11
No. of Slab Cables:	29

LOT: BLOCK: PHASE: SECTION: CE:22101559 BY: ALE  
 18402 LAKELAND DRIVE LAGO VISTA POINT VENTURE  
 2-26-21 9 DESIGN CUSTOM BUILDERS



**GENERAL**

- ENGINEER'S INSPECTION REQUIRED FOR:
  - CONCRETE PRE-POUR SETUP
  - FINAL STRESSING OF TENDONS
- IF IT HAS RAINED, OR CONCRETE HAS NOT BEEN PLACED WITHIN 48 HOURS OF A PASSED PRE-POUR INSPECTION, A RAIN RE-INSPECTION IS RECOMMENDED TO ENSURE FOUNDATION STILL MEETS THE REQUIREMENTS AS SET FORTH BY COPELAND ENGINEERING.
- CONCRETE QUANTITY ASSUMES LEVEL SITE CONDITIONS AND MUST BE ADJUSTED FOR SLOPING SITE AND FORMING IRREGULARITIES. CONCRETE QUANTITIES ARE NOT EXACT. THESE ESTIMATES DO NOT ACCOUNT FOR BARRIER BEAMS, DEEP BEAMS, AND/OR DROPS IN SLAB. THESE ESTIMATES ARE INTENDED FOR PLAN TO PLAN COMPARISONS FOR ESTIMATING PURPOSES UNDER IDEAL CONDITIONS. TENDON LENGTHS AND COUNT AND CONCRETE QUANTITY ESTIMATE ON PLAN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHOULD VERIFY ALL TENDON LENGTHS AND CONCRETE QUANTITY PRIOR TO INSTALLATION.
- DRAPED (BEAM) TENDONS ARE NOT SHOWN ON THE PLANS BUT ARE LABELED AS A "D" FOR DRAPED TENDON.
- SCOPE OF SERVICES PROVIDED BY COPELAND ENGINEERING ARE LIMITED TO THE FOLLOWING:
  - STRUCTURAL REINFORCEMENT
  - BEAM DEPTH AND WIDTH
  - BEAM LOCATIONS
  - EXTERIOR BEAM PENETRATION
- THE FORMS SHOULD BE BUILT USING THE ARCHITECTURAL PLANS--NOT THE ENGINEERING PLAN. DO NOT SCALE PLAN.** ARCHITECTURAL DIMENSIONS MUST BE COMPARED TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF FORMS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THIS DESIGN IS IN COMPLIANCE WITH PTI DESIGN OF POST-TENSIONED SLABS-ON-GROUND 3RD EDITION, THE LATEST EDITION OF THE IRC/IBC AND RECOGNIZED ENGINEERING PRACTICES.
- VERTICAL CONTROL JOINTS SHOULD BE USED IN EXTERIOR MASONRY TO THE FULL HEIGHT SPACED APPROXIMATELY 25 FEET APART. A JOINT SHOULD BE LOCATED DIRECTLY ABOVE CHANGES IN SUPPORT CONDITIONS FOR THE MASONRY AND AT EACH FOUNDATION CRACK CONTROL JOINT.
- THESE PLANS ARE COPYRIGHT COPELAND ENGINEERING, LLC AS OF THE YEAR DATED.

**REINFORCING**

- ALL REINFORCING BARS SHALL BE ASTM A-615 GRADE 60, EXCEPT GRADE 40 MAY BE USED FOR STIRRUPS, CORNER BARS AND HAIRPINS.
- ALL TENDONS SHALL BE 270K GRADE, 7 WIRE STRAND, 1/2 INCH DIAMETER, U.N.O., GREASED AND SHEATHED WITH A CONTINUOUS EXTRUDED PLASTIC SHEATHING.
- ANCHORAGE SYSTEM SHALL BE A MONOSTRAND UNBONDED TENDON UTILIZING A CAST WEDGE PLATE AND A TWO PIECE WEDGE AS MANUFACTURED BY A P.T.I. APPROVED MANUFACTURER.
- ALL POST-TENSIONED TENDONS AND ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST "P.T.I. GUIDE SPECIFICATIONS FOR POST-TENSIONING MATERIALS." POST-TENSIONED TENDON SUPPLIER TO BE P.T.I. FACTORY CERTIFIED.
- BEST PRACTICE IS TO PARTIAL STRESS ALL TENDONS TO 13.3 KIPS (OR HALF OF FINAL JACKING FORCE) 24 TO 48 HOURS AFTER CONCRETE PLACEMENT.
- BEST PRACTICE IS TO FULLY STRESS ALL TENDONS TO 33 KIPS 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- THE FIRST TENDON IN THE SLAB SHALL BE A MAXIMUM OF 14 INCHES AND A MINIMUM OF 6 INCHES FROM THE OUTSIDE FORM. TENDONS NOT DIMENSIONED ON PLAN TO BE EQUALLY SPACED.

**SITE PREPARATION AND UNDERSLAB FILL**

- REFERENCE SOILS REPORT, AS REQUIRED, FOR SITE PREPARATION REQUIREMENTS.
- ALL UNDERSLAB "FORMING FILL" SHALL HAVE A P.I. LESS THAN 20 AND BE FREE OF ORGANICS.
- REFER TO NOTES CONCERNING "APPROVED" AND "UNAPPROVED" FILL.
- FOR SITE PREP THAT FALLS WITHIN THE 1/2 CRZ SEE THE TREE POLICY NOTES ON THIS PAGE AND NOTES ON THE FOUNDATION PLAN.
- IF SOLID, INTACT ROCK IS ENCOUNTERED PRIOR TO DESIGN DEPTH, BEAMS MAY BE SHALLOWED TO A MINIMUM OF 12 INCHES
- FINAL GRADING TO BE SLOPED AWAY FROM FOUNDATION 1 INCH PER FOOT FOR THE FIRST 5 FEET TO ALLOW DRAINAGE AWAY FROM FOUNDATION.
- ALL SITE OR SOIL MITIGATION TECHNIQUES REQUIRED BY GEOTECHNICAL ENGINEER TO BE FOLLOWED BY ALL RESPONSIBLE CONTRACTOR PARTIES.

**HARD POINTS**

- IF THE DEPTH OF UNDERSLAB CLEAN FILL AT ANY BEAM INTERSECTION (TOTAL DEPTH, NOT FROM BEAM BOTTOM), EXCEEDS 60 INCHES SANDY LOAM OR 84 INCHES ROAD BASE, PLACE HARD POINTS THROUGH THE FILL. USE 12 INCH DIAMETER PRE-FORMED OR DRILLED, CONCRETE PIERS BELOW REINFORCED BEAM INTERSECTIONS, U.N.O. HARDPOINTS TO BE REINFORCED W/ (4)-#4 VERT. & #3 TIES @ 24 INCHES O.C. IF TOTAL UNDERSLAB FILL EXCEEDS 12 FEET, CONTACT ENGINEER.

**CONCRETE**

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- CONCRETE SHOULD BE MINIMUM 2000 PSI AT FULL TENDON STRESSING.
- ALL CONCRETE WORK SHALL MEET A.C.I. 318 LATEST EDITION.
- COPELAND ENGINEERING ASSUMES NO RESPONSIBILITY FOR BRACING CONCRETE FORMS REQUIRED FOR FOUNDATION FORMING. FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE.
- A LAPPED AND TAPED 6 MIL. POLY VAPOR RETARDER SHALL BE PLACED IN ACCORDANCE WITH THE CONSTRUCTION AND MAINTENANCE MANUAL FOR POST-TENSION SLAB-ON-GROUND FOUNDATIONS, 3RD EDITION.
- CONCRETE SHALL BE DEPOSITED IN FORMS NO LATER THAN TWO HOURS AFTER WATER IS MIXED AT THE PLANT. MAXIMUM SLUMP OF 6 INCHES.
- CONCRETE SHALL BE WELL CONSOLIDATED USING PROPER MECHANICAL VIBRATION, ESPECIALLY IN THE VICINITY OF THE TENDON ANCHORAGE.
- IF CONDUIT IN SLAB IS REQUIRED PRIOR TO CONCRETE PLACEMENT, LOCATION TO BE VERIFIED IN FIELD.
- PIPING, VENTS OR ELECTRICAL CABLES SHALL BE PLACED SO AS NOT TO REDUCE SLAB THICKNESS.
- PLUMBING/CONDUITS GREATER THAN 2 INCHES IN DIAMETER (Ø) TO BE TRENCHED INTO UNDERSLAB FILL, WHERE 2 INCHES < Ø < 1 1/2 INCHES. RECOMMENDED PLACEMENT DIRECTION IS AT 45° TO TENDONS. ALWAYS ENSURE A MINIMUM CONCRETE COVERAGE OF 1 INCH TOP, 1 1/2 INCHES BOTTOM PER PTI.
- IF UNANTICIPATED INTERRUPTIONS IN CONCRETE PLACEMENT OCCUR, AND CONCRETE HARDENS, TEMPORARY FORMS MUST BE USED FOR SETTING OF CONSTRUCTION JOINTS OR CONCRETE MUST BE CHIPPED TO FORM VERTICAL JOINTS PRIOR TO SETTING ADDITIONAL SLAB. USE #3 X 24 INCH DOWELS AT 12 INCHES O.C. EPOXIED INTO EXISTING CONCRETE TO BOND OLD TO NEW CONCRETE.

**CONCRETE COVERAGE**

- SLAB TENDONS:
  - 1 1/2 INCHES ABOVE SUB-GRADE IN 4 INCH THICK SLAB AND ANCHORS TO HAVE 4 INCHES VERTICAL COVERAGE FROM CENTER OF ANCHOR TO TOP OF CONCRETE.
    - SLAB TENDONS MAY BE MOVED 12 INCHES MAX. HORIZONTALLY TO ALLOW FOR PLUMBING BOX-OUTS.
    - BEAM TENDONS MAY BE MOVED 3 INCHES DOWNWARD AND/OR 2 INCHES UPWARD VERTICALLY FOR PLUMBING/CONDUIT PIPES IN BEAMS.
    - ALL "POCKET FORMERS" SHOULD BE FULLY GROUTED AFTER CUTTING TENDONS. THE GROUT POCKET SHOULD BE FREE OF VOIDS AND SHOULD FULLY COVER THE FORM AND BE FLUSH WITH THE SIDE OF THE SLAB COVERING THE CUT END OF THE TENDON. EXTRA CARE SHOULD BE TAKEN WHEN THE POCKET FORM IS SLIGHTLY BELOW GRADE.
  - ALL PVC PENETRATIONS TO BE OUTSIDE OF 45° ZONE OF PRESSURE FROM CABLE ANCHOR. REFER TO CONSTRUCTION AND MAINTENANCE MANUAL FOR POST TENSIONED SLAB-ON-GROUND FOUNDATIONS (FIG. 11.1)

**TENDON COVERAGE PER PTI:**

- BEAM TENDONS
  - TOP 2 INCHES
  - BOTTOM 3 INCHES
  - SIDES 3 INCHES
- SLAB TENDONS
  - TOP 1 INCHES
  - BOTTOM 1 1/2 INCHES

**ADJACENT STRUCTURES**

- POOLS SHALL NOT BE PLACED NEARER THE HOUSE THAN DEEPEST POINT OF EXCAVATION WITHOUT PRIOR DESIGN CONSIDERATION BY A LICENSED PROFESSIONAL ENGINEER.
- FOUNDATION SHALL NOT BE CONSTRUCTED NEARER TO RETAINING WALL THAN THE FULL RETAINING WALL HEIGHT, e.g. 5 FEET AWAY FROM 5 FOOT TALL WALL.
- EXCAVATION NEAR RETAINING WALLS SHALL NOT EXPOSE RETAINING WALL BACKFILL. IF BACKFILL IS ENCOUNTERED DURING EXCAVATION **STOP CONSTRUCTION AND NOTIFY COPELAND ENGINEERING FOR PIER SUSPENDED FOUNDATION RE-DESIGN.**

**TREE POLICY**

- FORM BRACING SHALL NOT BE POSITIONED INSIDE 1/2 CRITICAL ROOT ZONE (CRZ). BRACING LONGER THAN 10 FEET SHALL BE BRACED WITH STRONGBRAC AND #5 REBAR PLACED VERTICALLY AT 5 FOOT INTERVALS ALONG BRACE. NO MECHANICAL EQUIPMENT SHALL BE WITHIN 1/2 CRZ. TRENCHING SHALL BE WITH AIR SPADE ONLY. SELECTIVE CANOPY REDUCTIONS, TREE PROTECTION FENCING, AND 8 INCHES OF HARDWOOD MULCH REQUIRED.

**TREE POLICY P.I. GREATER THAN 40 - OUTSIDE AUSTIN JURISDICTION**

- TREE WITHIN 5 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 20'-0" OF SECTION 3 STEEL - CENTER ON TREE IN EXTERIOR BEAM ONLY, OR
  - DEEPEN BEAM 24 INCHES INTO EXISTING SOIL FOR 20'-0" - EXTERIOR BEAM ONLY.
- TREE LOCATED BETWEEN 5 FEET AND 15 FEET OF EXTERIOR GRADE BEAM:
  - ADD 10'-0" OF SECTION 3 STEEL - CENTER ON TREE IN EXTERIOR BEAM ONLY, OR
  - DEEPEN BEAM 12 INCHES INTO EXISTING SOIL FOR 20'-0" - EXTERIOR BEAM ONLY.

**APPLICATION OF THE TREE POLICY AFTER THE CONCRETE HAS BEEN PLACED**

- TREE LOCATED WITHIN 5 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 6 INCH WIDE TRENCH 24 INCHES INTO EXISTING GRADE FOR 20'-0" LONG CENTERED ON TREE AND FILLED WITH UN-REINFORCED CONCRETE.
- TREE LOCATED BETWEEN 5 FEET AND 15 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 6 INCH WIDE TRENCH 24 INCHES INTO EXISTING GRADE FOR 20'-0" LONG CENTERED ON TREE AND FILLED WITH UN-REINFORCED CONCRETE.

REPORT SOURCE:PDG  
 REPORT NUMBER:T 202140-1  
 REPORT DATE: 1-25-21  
 BEARING CAP.: psf  
 PI: 19  
 PTI3 PARAMETERS  
 · Em center: 8.7 ft  
 · Em edge: 4.5 ft  
 · Ym center: 1.0 in  
 · Ym edge: 4.3 in

**REVISION SCHEDULE**

REVISION	DATE	INITIALS	DESCRIPTION

FOR EXTERIOR BEAMS WITH EXTERIOR EXPOSURE ABOVE FINAL GRADE GREATER THAN 6'-0" SEE "DEEP BEAM DETAIL" FOR REINFORCEMENT AND PLACEMENT OF WEEPS.

**1 EXTERIOR BEAM-TENDONS**  
 LEDGE AS REQ'D  
 1/2" SLAB TENDONS (TYP)  
 6 MIL POLY (TYP)  
 1/2" BEAM TENDON(S) SEE PLAN FOR NUMBER  
 DESIGN WIDTH SEE SHEET 1  
 DESIGN DEPTH SEE SHEET 1

**2 INTERIOR BEAM - TENDONS**  
 LEDGE AS REQ'D  
 1/2" SLAB TENDONS (TYP)  
 6 MIL POLY (TYP)  
 1/2" BEAM TENDON(S) SEE PLAN FOR NUMBER  
 DESIGN WIDTH SEE SHEET 1  
 DESIGN DEPTH SEE SHEET 1

**3 EXTERIOR BEAM - STEEL**  
 LEDGE AS REQ'D  
 (2) #4 TOP  
 #3 STIRRUPS @36" O.C.  
 (2) #4 BOTTOM  
 6 MIL POLY (TYP)  
 DESIGN WIDTH SEE SHEET 1  
 DESIGN DEPTH SEE SHEET 1

**4 INTERIOR BEAM - STEEL**  
 LEDGE AS REQ'D  
 (2) #4 TOP  
 #3 STIRRUPS @36" O.C.  
 (2) #4 BOTTOM  
 6 MIL POLY (TYP)  
 DESIGN WIDTH SEE SHEET 1  
 DESIGN DEPTH SEE SHEET 1

**5 EXTERIOR BEAM OFFSET**  
 6" WIDE TRENCHED MAY BE USED INSTEAD OF CUTTING BACK ENTIRE WIDTH OF SLAB. 8" MIN THICKNESS REQUIRED BEHIND DROP FACE  

CUTBACK	DROP	BURST
6'-10"	24"	YES
5'-4"	18"	YES
3'-10"	1'-0"	NO
2'-4"	0'-6"	NO

 BURST BAR - ADD #3 HORIZONTAL ACROSS THE SLAB TENDONS TO HELP PREVENT SLAB BLOW OUT  
 PLACE ANCHOR AS SHOWN FOR SINGLE AND DOUBLE CONFIGURATIONS  
**BEAM TENDON ANCHOR LOCATION**  
 TENDON PROFILE  
**TYPICAL DROP IN SLAB TO 24"**  
 TENDON REINFORCEMENT

**6 DROP IN SLAB**  
 REINFORCE PER SECTION 1 OR SECTION 3  
 COMPOSITE SHEET DRAIN  
 4" PERFORATED PVC PIPE WRAPPED IN GEOTEXTILE SLOPE AT 0.5% TO DAYLIGHT. PIPE MUST BE A MIN. OF 6" BELOW LOWER SLAB AND EXIT TO DAYLIGHT  

H	W	V1	V2	H1	H2
>24"-48" (2'-4")	10"	#4 @ 18"	N/A	#3 @ 18"	N/A
>48"-96" (4'-8")	10"	#4 @ 12"	N/A	#3 @ 18"	N/A
>96"-144" (8'-12")	12"	#4 @ 12"	#3 @ 18"	#3 @ 18"	#3 @ 18"

**DEEP BEAM**  
 WEEP PIPE SPACING  

H	EACH CORNER	SPACING
72"-120" (6'-10")	YES	6'
121"-168" (10'-14")	YES	6'
169"-216" (14'-18")	YES	4'

H	D SOIL/ROCK	V1	V2	H1	H2
72"-120" (6'-10")	12'/2'	#4 @ 12"	N/A	#3 @ 18"	N/A
>120"-168" (10'-14")	14'/4"	#6 @ 18"	N/A	#3 @ 18"	N/A
>168"-216" (14'-18")	16'/6"	#6 @ 12"	#3 @ 18"	#3 @ 18"	#3 @ 18"

**7 GARAGE DETAIL**  
 GARAGE APRON PER BUILDER  
 #3 CONTINUOUS ABOVE ANCHORS  
 #3x24 DOWELS @ 18 O.C., OPTIONAL 1/2" EXPANSION JOINT  
 SEE SECTION 1 OR 3  
 DESIGN WIDTH SEE SHEET 1

**DROPPED MASONRY LEDGE**  
 #3 CONT. AS REQ'D  
 #3 @ 18" O.C.  
 16" MIN  
 SEE SECTION 1 OR 3 FOR BEAM REINFORCEMENT

**FOUNDATION DETAILS**

**PERIMETER GRADING**  
 SWALE - SLOPE 1% 6" W/O MASONRY OFF LOT  
 5'-0" 4" W/ MASONRY  
 CODE MINIMUM DRAINAGE AROUND PERIMETER OF HOME

**EXTENDED CONCRETE WALL**  
 COMPOSITE SHEET DRAIN AND 4" PERF PIPE REQUIRED WHEN THE GRADE IS ABOVE THE FINISHED FLOOR OF THE GARAGE SEE DROP IN SLAB DETAIL THIS SHEET  
 REINFORCE PER SECTION 1 OR SECTION 3  

W	UP TO H"	VERT STEEL	HORIZ STEEL
4	0 TO 24"	#3 @ 16" O.C.	#3 @ 16" O.C.
6	25" TO 36"	#3 @ 8" O.C.	#3 @ 16" O.C.

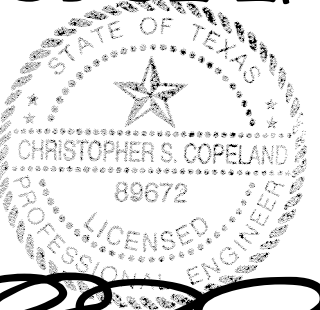
**RETAINING WALL ON SLAB, HEIGHT > 3 FEET**  
 10" FOR H < 6"  
 12" FOR H < 10"  
 #3 @ 16 O.C.E.W.  
 #3 @ 16 O.C. HORIZ.  
 #5 @ 12 O.C. VERT.  
 GEOTEXTILE APPLIED OVER WATERPROOFING MEMBRANE INSTALLED PER MPII  
 HYDROPHILIC WATERSTOP  
 SEE SECTION 1 OR 3  
 #5 @ 12" O.C.  
 #3 @ 12" O.C.  
 MIN 36" LAP  
 MIN 6" MIN  
 LEDGE AS REQ'D  
 FINAL GRADE. SLOPE 5% TO SWALE AND 1% OFF LOT  
 GRAVEL OR SAND BACKFILL. OPTIONAL BAGGING SHOWN  
 PROVIDE DRAINAGE CONTINUITY TO 4" PERF. PVC IN GEOTEXTILE FABRIC. FLOW LINE TO REMAIN MIN 6" BELOW LOWER SLAB, SLOPE AT 1/2% AND DRAIN TO DAYLIGHT.



18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 9 DESIGN CUSTOM BUILDERS  
 2-26-21  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559  
 BY: ALE  
 COPPELAND ENGINEERING  
 101 COTTONWOOD CREEK TRAIL  
 SUITE 160A CEDAR PARK, TX 78613  
 INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
 S3 F18

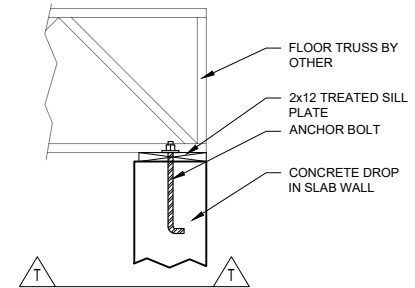
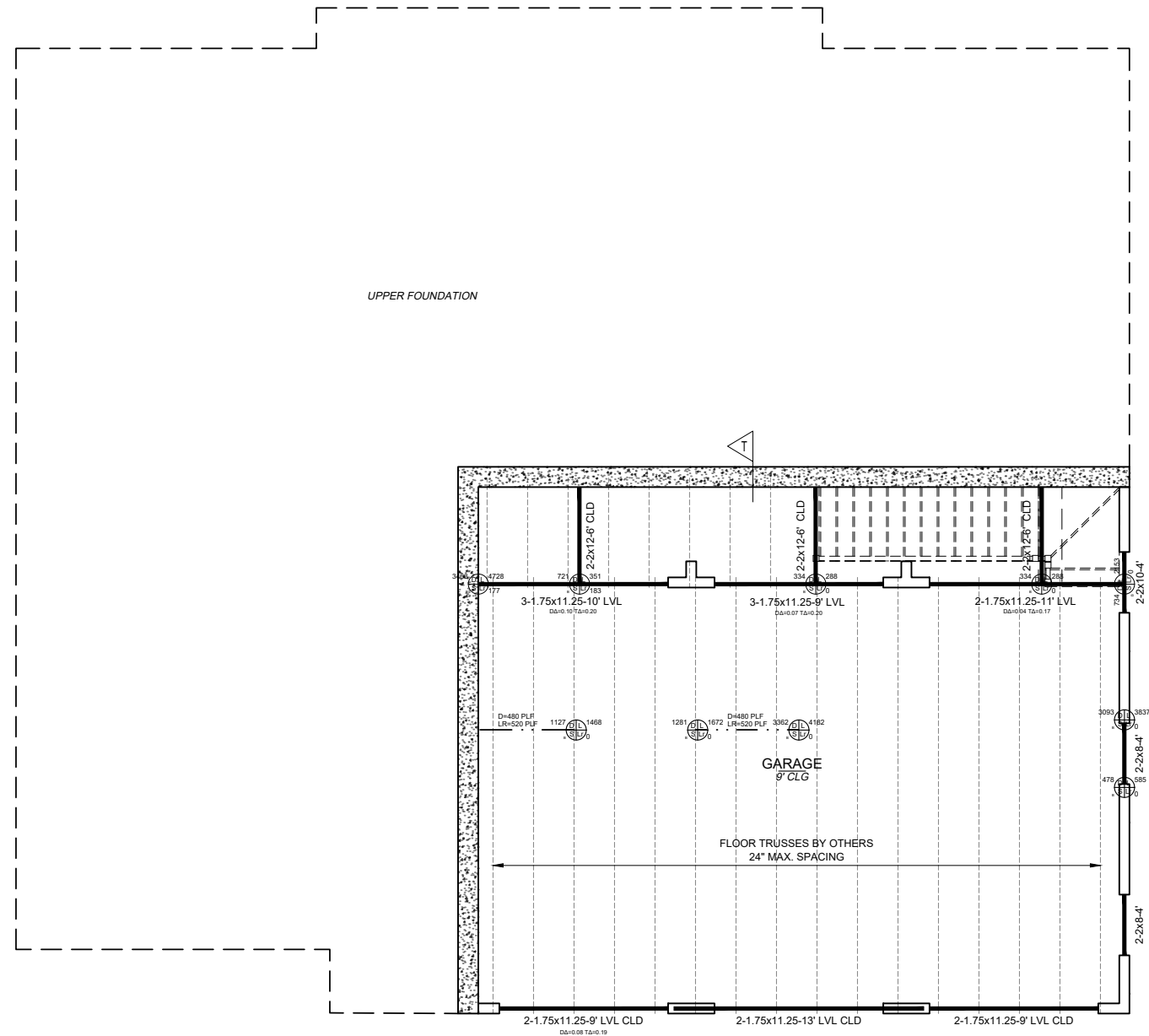
GARAGE CEILING FRAMING PLAN  
1/8" = 1'-0"

03.02.21



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[Symbol]	FLOOR EXTENTS
[Symbol]	FLOOR TRUSS
[Symbol]	CEILING LINE
[Symbol]	JOIST LINEWEIGHT @ STORAGE
[Symbol]	JOIST LINEWEIGHT @ NON-STORAGE
[Symbol]	ENGINEERED BEAM
[Symbol]	STACKED ON WALL
[Symbol]	STACKED ON BEAM
[Symbol]	BEARING LINEWEIGHT
[Symbol]	NON-BEARING WEIGHT
[Symbol]	DEAD LOAD (LBS)
[Symbol]	LIVE LOAD (LBS)
[Symbol]	POINT LOAD (LBS)
[Symbol]	LINE LOAD (PLF)

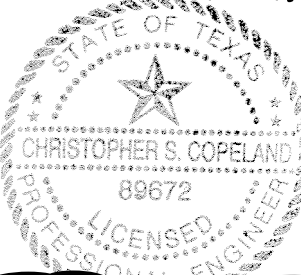


LOT: BLOCK: 18402 LAKELAND DRIVE  
 SECTION: PHASE: LAGO VISTA  
 CE:22101559 BY: ALE POINT VENTURE  
 2-26-21  
 9 DESIGN CUSTOM BUILDERS



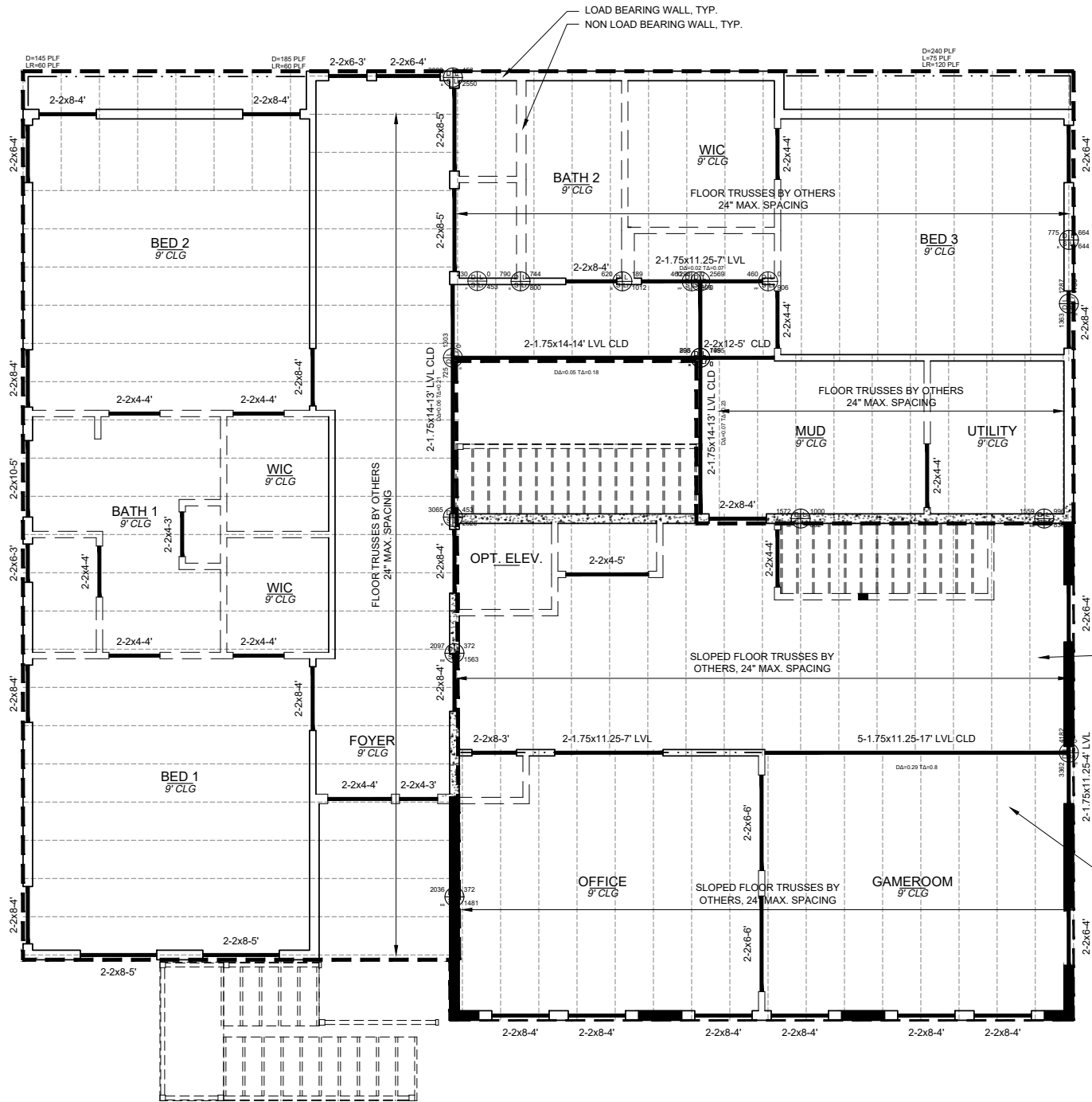
LEVEL 1 CEILING FRAMING PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*

- FLOOR EXTENTS
- FLOOR TRUSS
- CEILING LINE
- JOIST LINEWEIGHT @ STORAGE
- JOIST LINEWEIGHT @ NON-STORAGE
- ENGINEERED BEAM
- STACKED ON WALL
- BEARING LINEWEIGHT
- NON-BEARING WEIGHT
- DEAD LIVE POINT LOAD (LBS)
- LINE LOAD (PLF)



LENGTH OF DECK & SLOPE REQUIRED MAY REQUIRE LARGER FLOOR SYSTEM TO ACHIEVE PROPER DRAINAGE - VERIFY W/ BUILDER & FLOOR TRUSS COMPANY

FLOOR BEAM SIZED FOR TILE BALCONY FLOOR ABOVE  
DEAD - 30 PSF  
LIVE - 40 PSF

TABLE VIII<sup>a</sup>  
CEILING JOIST SPAN ( STORAGE L=20 )

	24	16	12
2x6	9'-10"	12'-0"	13'-11"
2x8	12'-0"	15'-0"	17'-7"
2x10	15'-0"	18'-0"	21'-0"
2x12	18'-0"	21'-0"	24'-0"

a) ANY BEAM OF SAME SIZE WITH  $F_b \ge 2600$ ,  $F_v \ge 265$ , AND  $E \ge 2.0$  MAY BE SUBSTITUTED FOR LVL.

TABLE VII  
2x12 FLOOR JOIST SPAN ( DL = 10 PSF )  
SPACING ( INCHES )

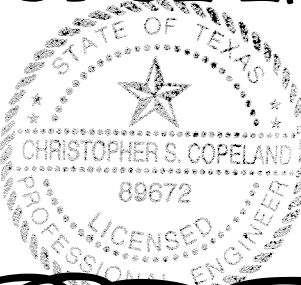
	24	16	12
LIVING ( L=40 )	13'-6"	16'-0"	19'-1"
SLEEPING ( L=30 )	15'-1"	18'-0"	21'-4"

LOT: BLOCK: 18402 LAKELAND DRIVE  
SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

LEVEL 2 CEILING FRAMING PLAN  
1/8" = 1'-0"

03.02.21

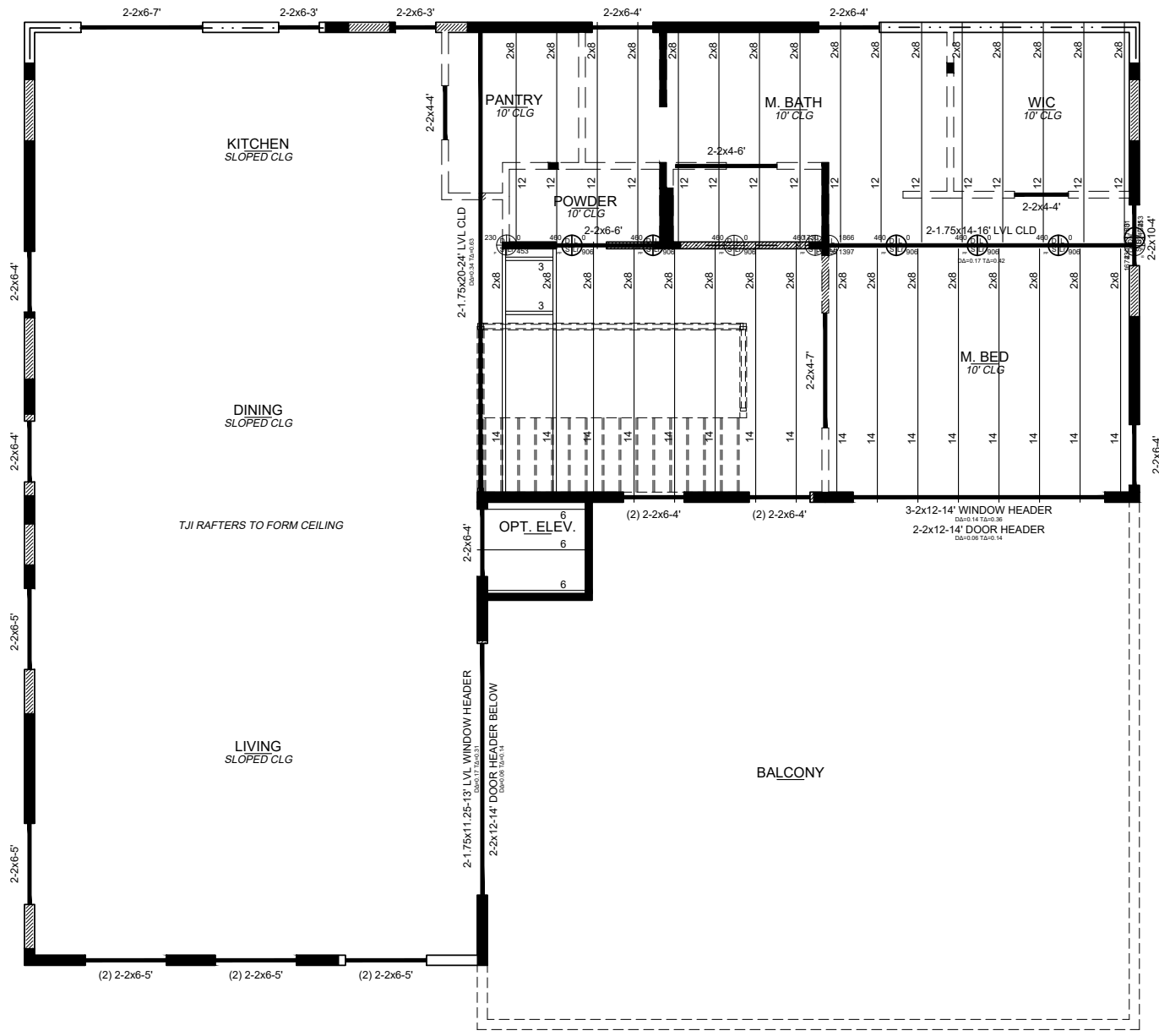


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TABLE VIII <sup>a</sup>			
CEILING JOIST SPAN ( STORAGE L=20 )			
2x6	24	16	12
	9'-10"	12'-0"	13'-11"
2x8	12'-4"	8'-0"	6'-0"
2x10	15'-4"	10'-0"	8'-0"
2x12	17'-3"	14'-0"	11'-0"
a) ANY BEAM OF SAME SIZE WITH L ≤ 2600, AND E ≥ 2.0 MAY BE SUBSTITUTED FOR LVL.			

TABLE VII			
2x12 FLOOR JOIST SPAN ( DL = 10 PSF )			
SPACING ( INCHES )			
	24	16	12
LIVING ( L=40 )	13'-6"	16'-6"	10'-1"
SLEEPING ( L=30 )	13'-1"	16'-0"	11'-1"



- FLOOR EXTENTS
- - - FLOOR TRUSS
- - - CEILING LINE
- JOIST LINEWEIGHT @ STORAGE
- JOIST LINEWEIGHT @ NON-STORAGE
- ENGINEERED BEAM
- STACKED ON WALL
- STACKED ON BEAM
- BEARING LINEWEIGHT
- NON-BEARING WEIGHT
- ⊙ DEAD LOAD
- ⊙ LIVE LOAD
- ⊙ POINT LOAD (LBS)
- LINE LOAD (PLF)

LOT: BLOCK:  
SECTION: PHASE:  
CE:22101559 BY: ALE

18402 LAKELAND DRIVE  
LAGO VISTA  
POINT VENTURE

2-26-21  
9 DESIGN CUSTOM BUILDERS

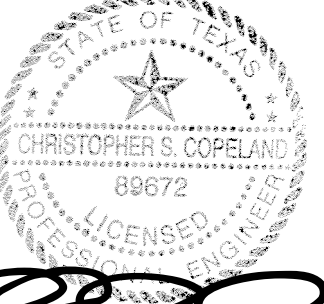
INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724

**COPELAND ENGINEERING**

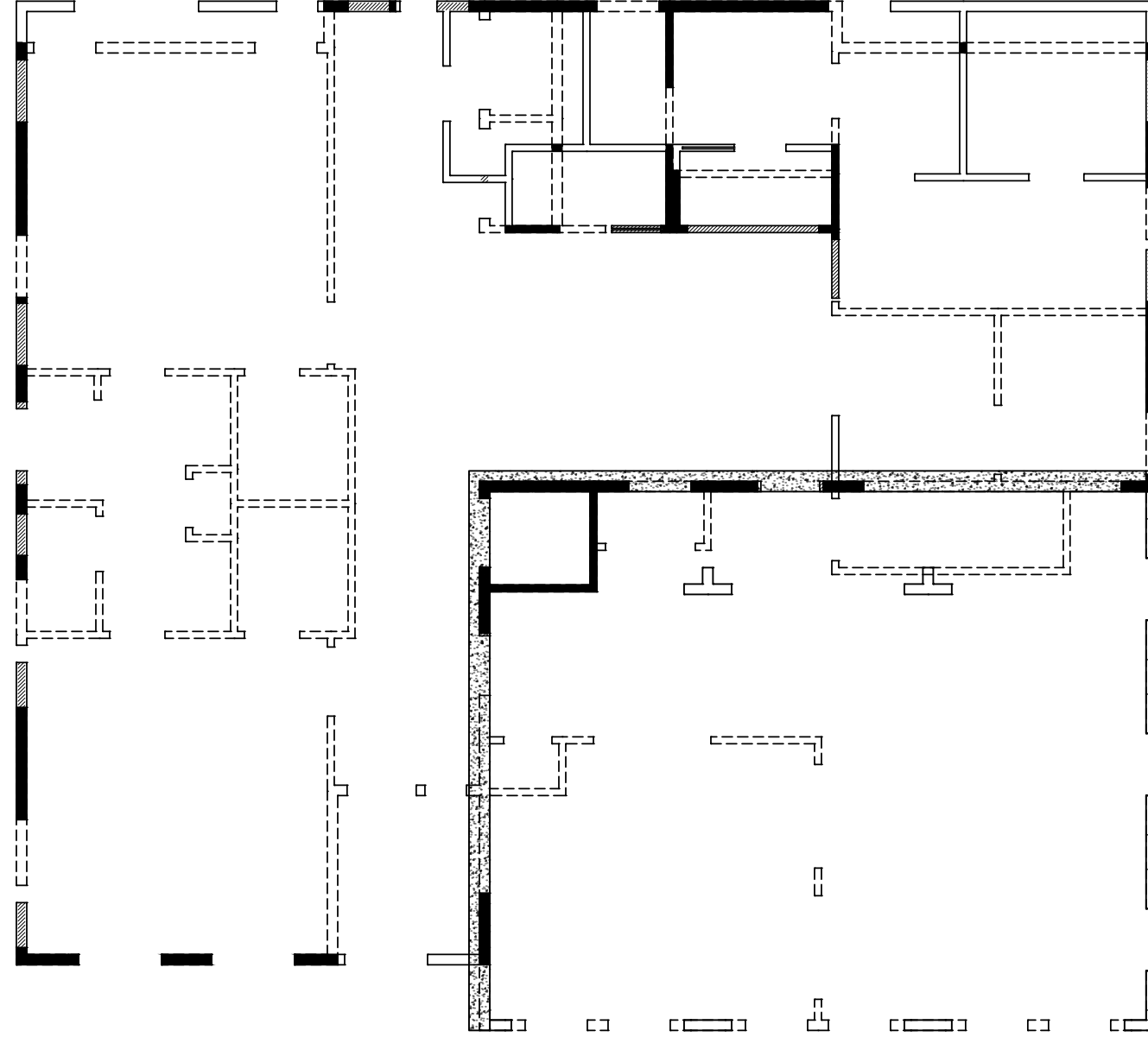
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

OVERLAY PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



	STACKED ON WALL
	STACKED ON BEAM
	LOWER WALL
	UPPER WALL

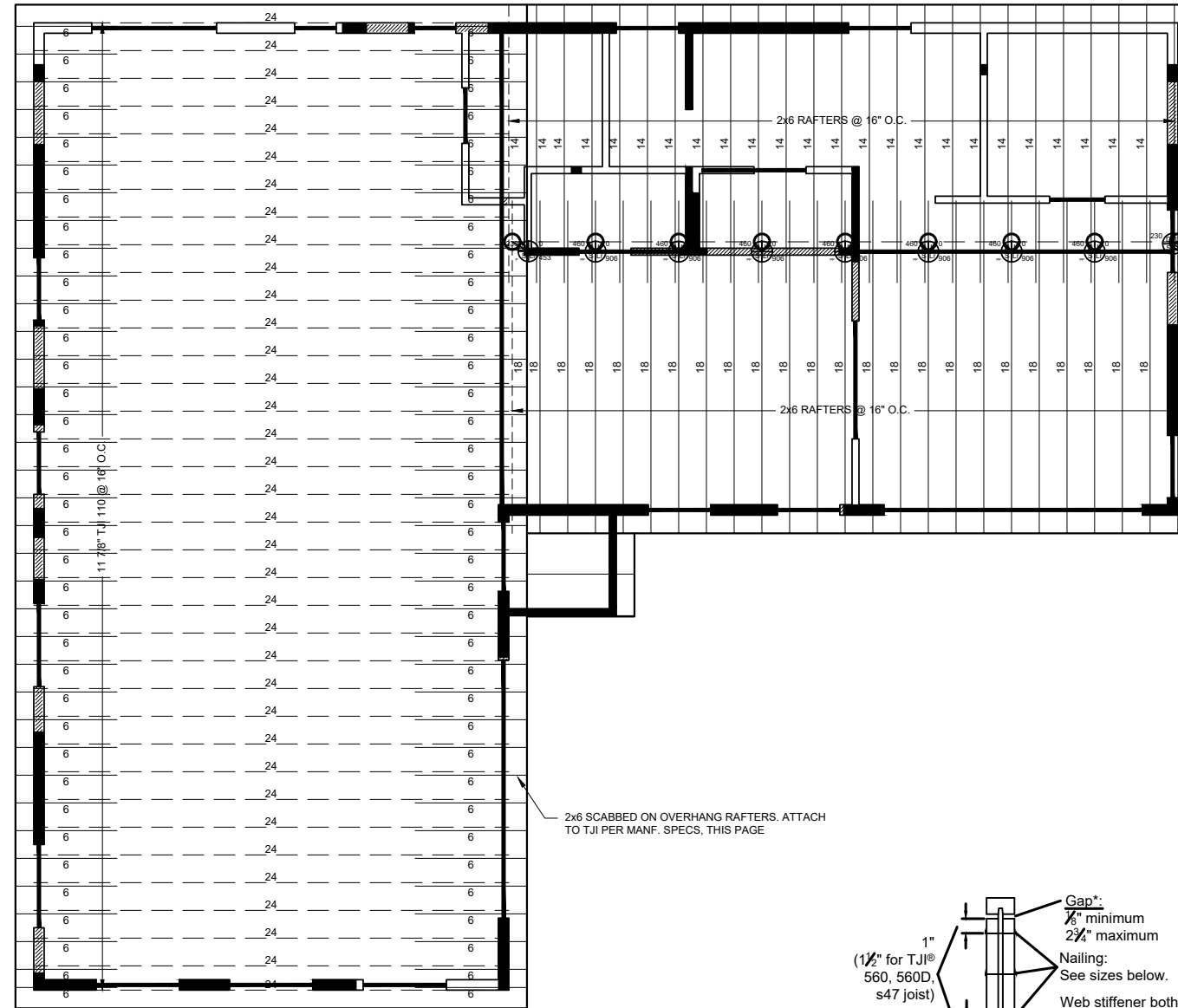
INSPECTION: 512.850.5089 DESIGN: 512.800.9200	LOT:	BLOCK:
TEXAS FIRM # F-17724	SECTION: CE:22101559	PHASE:
<b>COPELAND ENGINEERING</b>	18402 LAKELAND DRIVE	LAGO VISTA
170 COTTONWOOD CREEK TRAIL	POINT VENTURE	BY: ALE
SUITE 180A CEDAR PARK, TX 78613	9 DESIGN CUSTOM BUILDERS	2-26-21



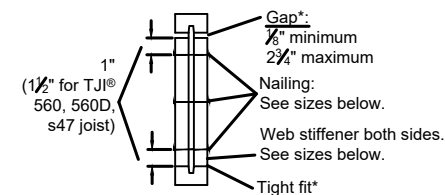
TABLE X RAFTER SPANS (L=20)					
CEILING NOT ATTACHED	COMP METAL D=10	24		12	
		2x6	11'-0"	13'-6"	15'-7"
2x8	13'-11"	17'-1"	19'-8"		
2x10	16'-8"	20'-3"	23'-5"		
2x12	19'-5"	23'-10"	>26'		
CEILING ATTACHED	COMP METAL D=10	24		12	
		2x6	11'-0"	13'-5"	14'-9"
		2x8	13'-11"	17'-1"	19'-6"
		2x10	16'-6"	20'-3"	23'-5"
2x12	19'-6"	23'-10"	>26'		

TABLE IX ROOF BRACES AND STIFFBACK SIZES		
MAX LENGTH (FT)	BRACE	STIFFBACK
4	2x4	N/A
12	2x6	2x4
16	2x6	2x6



2x6 SCABBED ON OVERHANG RAFTERS. ATTACH TO TJI PER MANF. SPECS, THIS PAGE



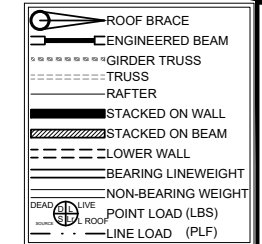
TJI® Joist Series	Depth (in.)	Minimum Web Stiffener Size	Nailing Requirements		
			Type	Number Nails	
110	All	5/8" x 2 3/8" (1)	8d (0.113" x 2 1/2")	End	Intermediate
230 & 360				3	3
s31 & s33				3	3
560 & s47				4	4
560D	18"	2x4 (2)	16d (0.135" x 3 1/2")	4	4
	20"			5	5
	22" (3)			6	11
	24" (4)			6	13

- W (1) PS1 or PS2 sheathing, face grain vertical  
(2) Construction grade or better

TYPICAL TJI ROOF DETAILS

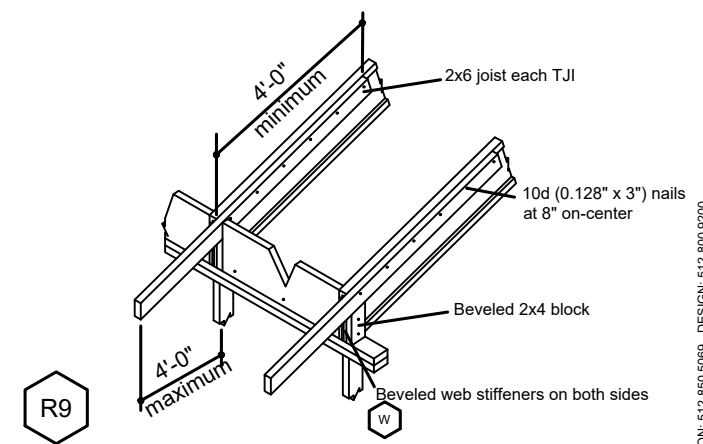
ROOF FRAMING PLAN  
1/8" = 1'-0"

03.02.21



18402 LAKELAND DRIVE  
LAGO VISTA  
POINT VENTURE

LOT: BLOCK:  
SECTION: PHASE:  
CE:22101559 BY: ALE



INSPECTION: 512.850.9089 DESIGN: 512.800.9200  
Texas Firm # F-17724



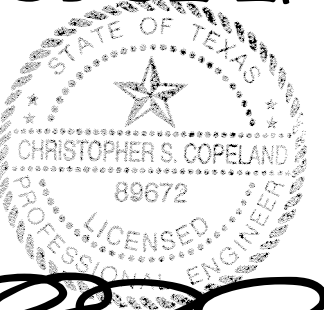
NOTE:

BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYline TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

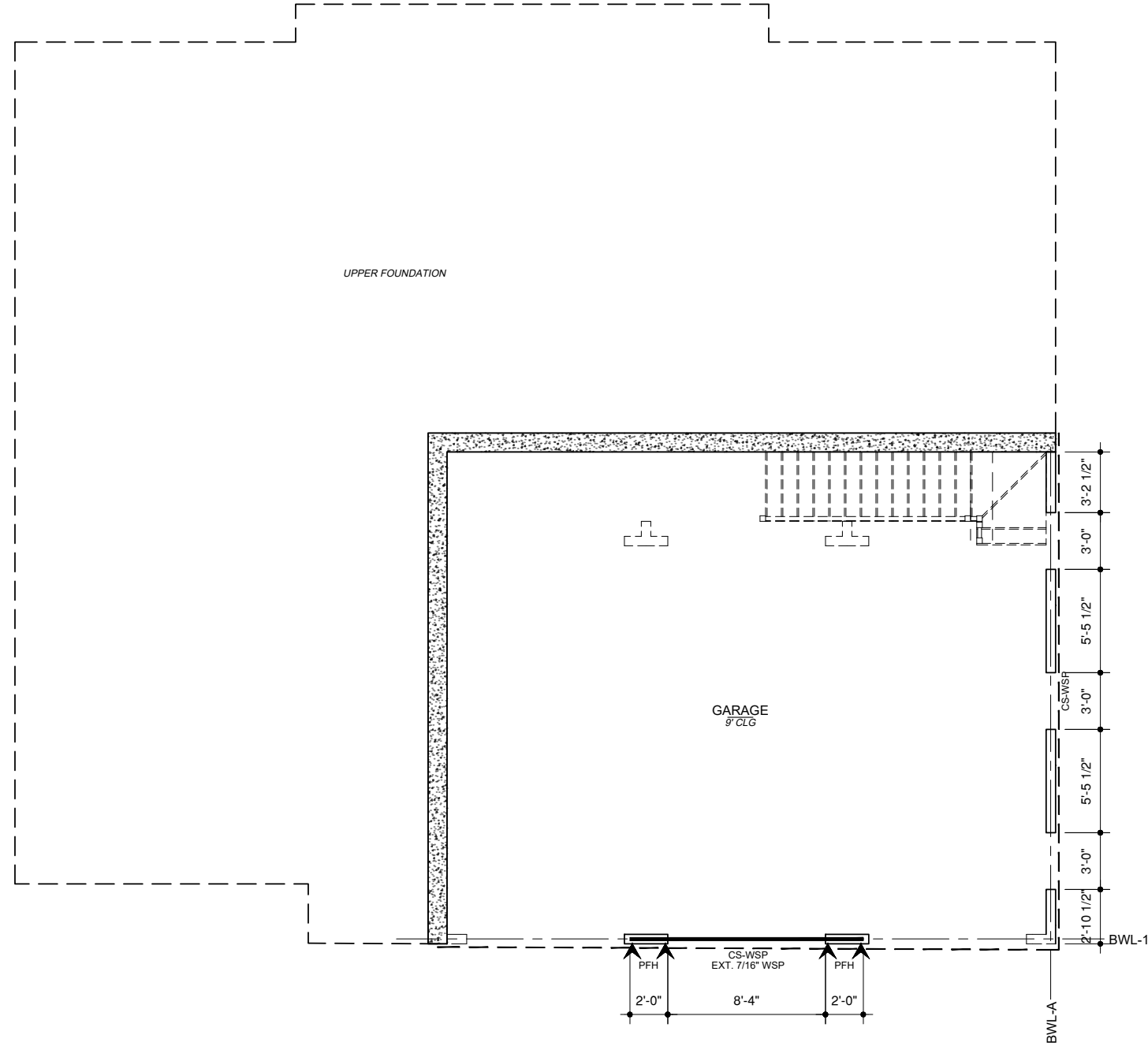
# GARAGE LATERAL BRACING PLAN

1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 1701 COTTONWOOD CREEK TRAIL  
 SUITE 180A CEDAR PARK, TX 78613

LOT: BLOCK: 18402 LAKELAND DRIVE  
 SECTION: PHASE: LAGO VISTA  
 CE:22101559 BY: ALE POINT VENTURE

2-26-21  
 9 DESIGN CUSTOM BUILDERS



NOTE:

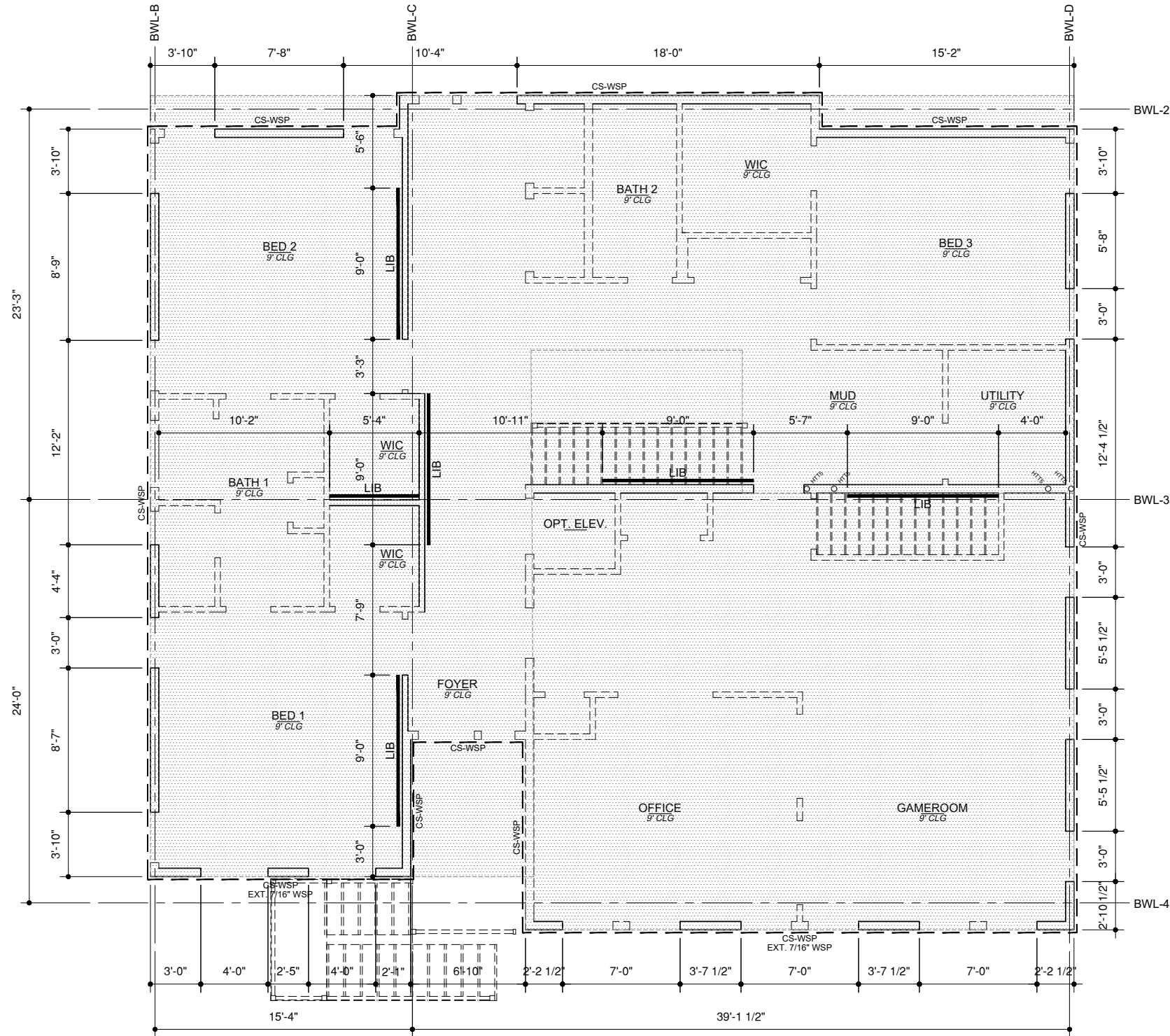
BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYLINE TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

LEVEL 1 LATERAL BRACING PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE

LOT: BLOCK: 18402 LAKELAND DRIVE  
SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE  
2-26-21  
9 DESIGN CUSTOM BUILDERS



NOTE:

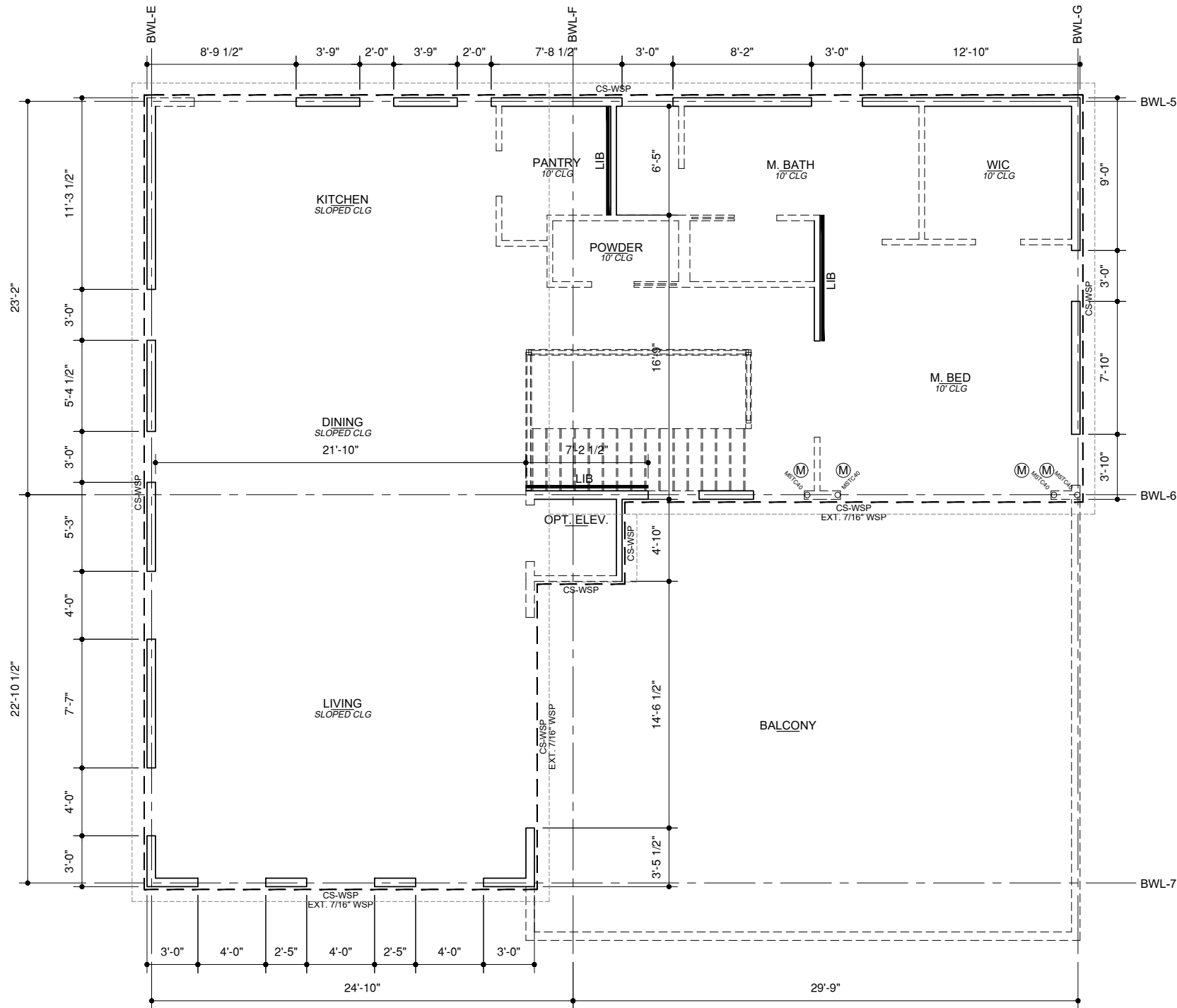
BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYline TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

LEVEL 2 LATERAL BRACING PLAN  
1/8" = 1'-0"

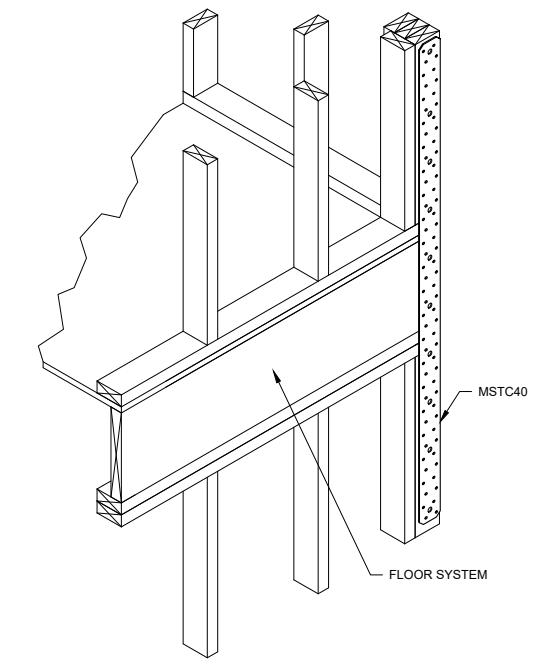
03.02.21



*[Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE

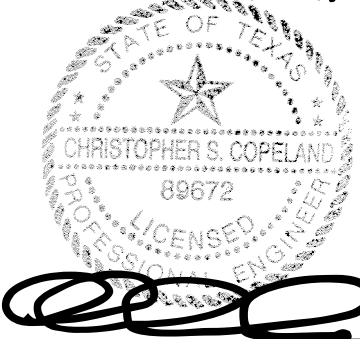


M UPPER LEVEL SHEAR WALL CORNER CONNECTION

LOT: BLOCK: 18402 LAKELAND DRIVE  
SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE  
2-26-21  
9 DESIGN CUSTOM BUILDERS

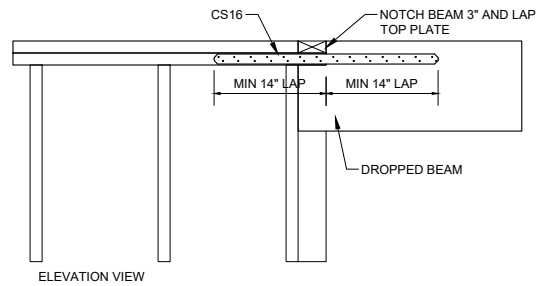
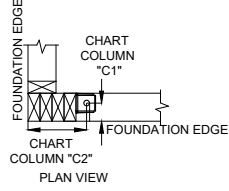
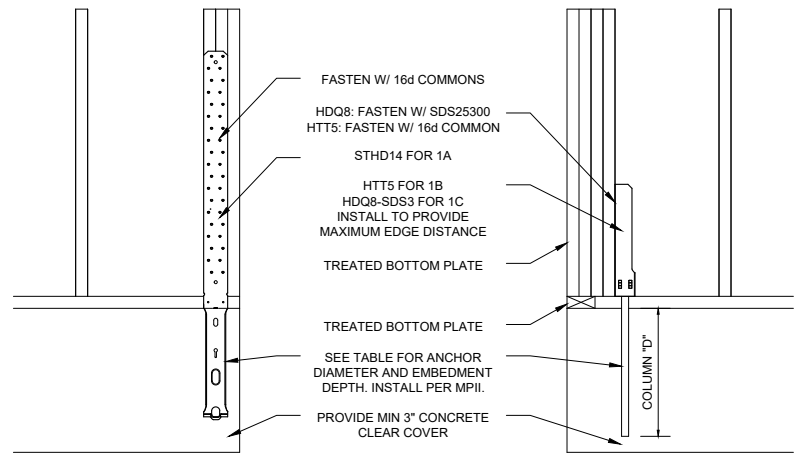
INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613  
S11-18



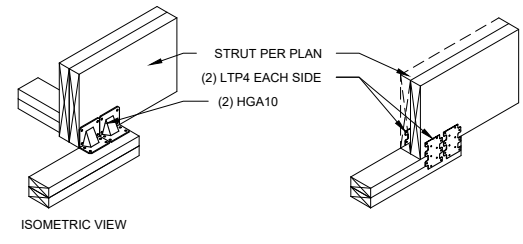


DETAIL 1A, 1B, AND 1C LOWER HOLD DOWNS					
PLAN SPEC	PART NO	Ø (IN)	"C1" MIN (IN)	"C2" MIN (IN)	"D" EMBED MIN (IN)
1A	STHD14	WET SET	0.00	2.00	14.0
1B	HTT5	5/8"Ø	2.25	5.75	11.0
			9.00	9.00	5.0
1C	HDQ8-SD S3	7/8"Ø	2.00	5.75	17.5
			5.00	10.50	12.5

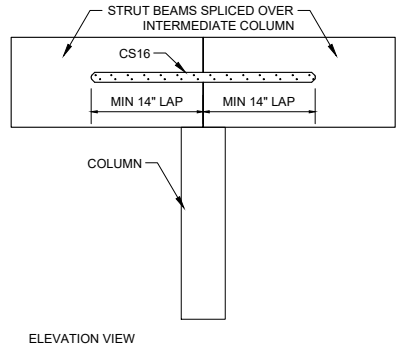
HOLD DOWNS MAY BE INSTALLED ON ANY FACE OF STUD BANK AS LONG AS "C1" AND "C2" RESULT IN CAPACITY EXCEEDING THAT REQUIRED ON PLAN.



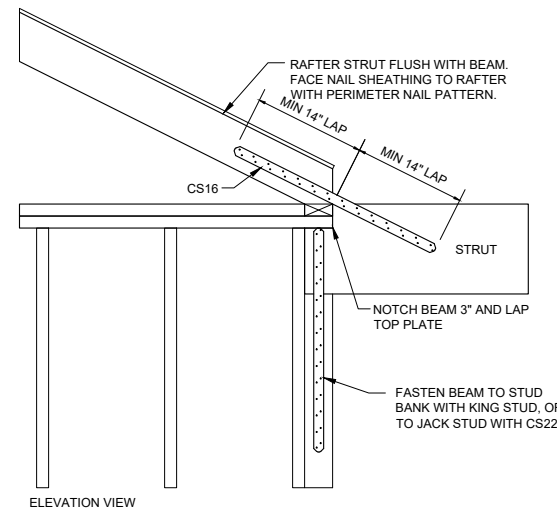
A DROPPED BEAM TO TOP PLATE



B CONCEALED BEAM TO PLATE STRUT CONNECTIONS

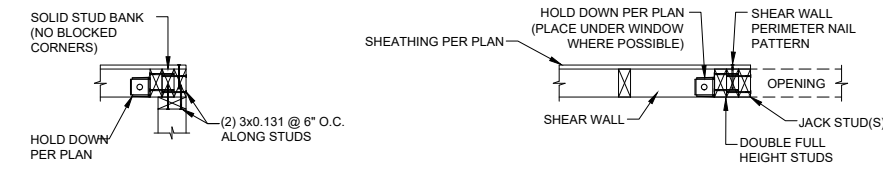


C BEAMS OVER INTERMEDIATE COLUMN



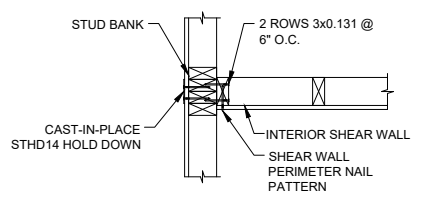
D BEAM TO RAFTER CONNECTION

1 HOLD DOWNS - REQUIRED ONLY WHERE SPECIFIED ON PLAN



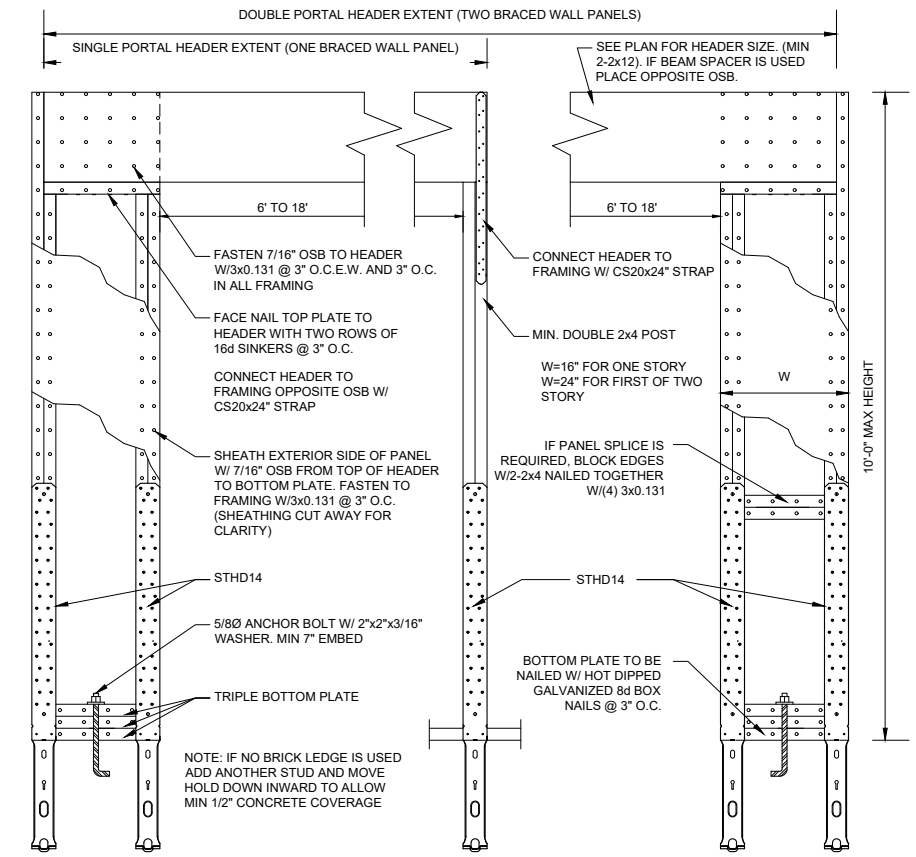
A SOLID CORNER

B OPENING

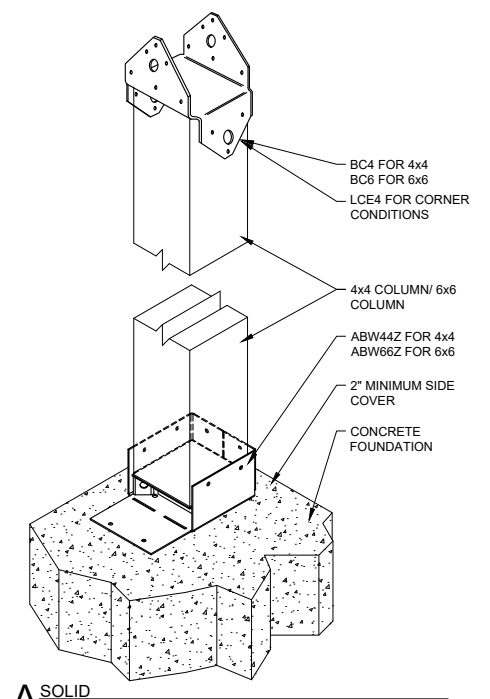


C TEE AT EXTERIOR

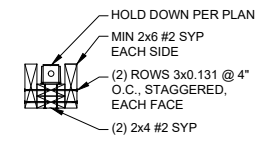
2 FRAMING @ HOLD DOWN LOCATIONS



4 PFH PORTAL FRAME



5 COLUMN ANCHORAGE AND CONNECTION

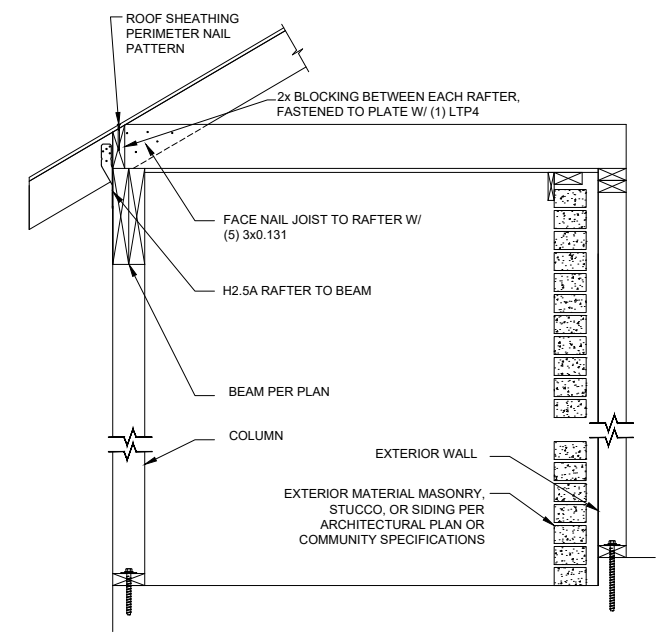


B BUILT-UP

18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 2-26-21  
 9 DESIGN CUSTOM BUILDERS  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE  
 COPOLAND ENGINEERING  
 1701 COTTONWOOD CREEK TRAIL  
 SUITE 160A CEDAR PARK, TX 78613  
 INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
 S3 F18

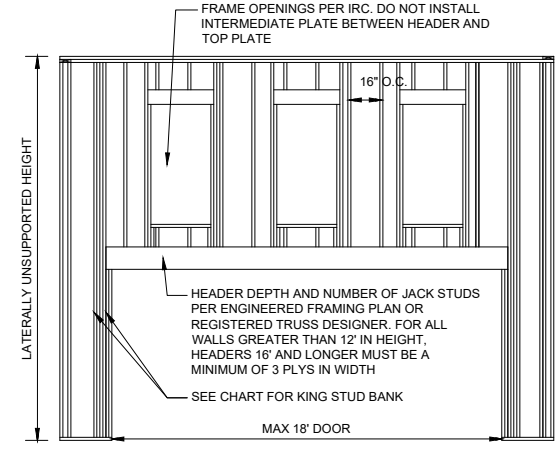
FRAMING DETAILS

03.02.21

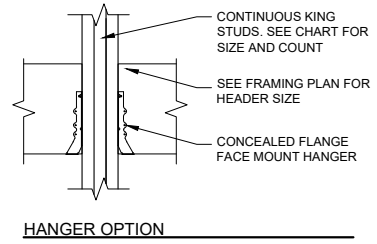


A PORCH FRAMING AND STRAPPING

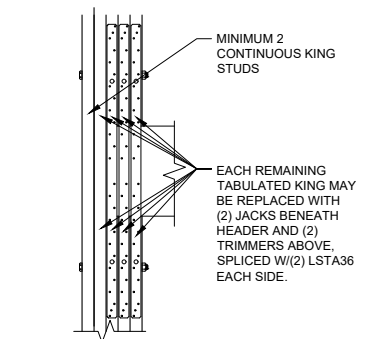
#2 S.Y.P. KING STUD COLUMNS					
BALLOON FRAME STUD NUMBER AND SIZE					
HEIGHT	12'-14"	< 15'-2"	< 16'-8"	< 19'-8"	< 21'-8"
# KING STUDS	3-2x6	4-2x6	5-2x6	3-2x8	4-2x8
CONNECT 4 AND 5 PLY KING STUDS WITH 1/2" THROUGH BOLTS @ 24" O.C.					



B BALLOON FRAMED WALL @ GARAGE DOOR



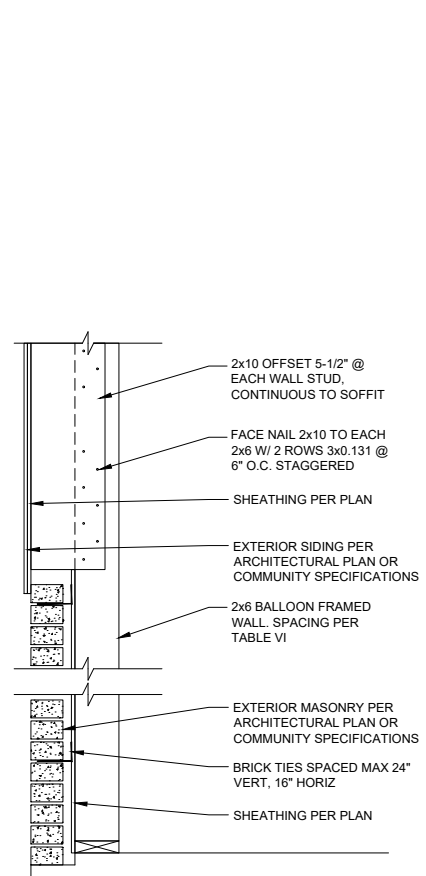
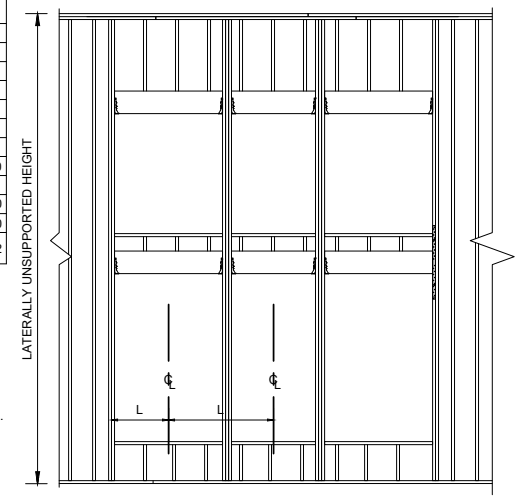
HANGER OPTION



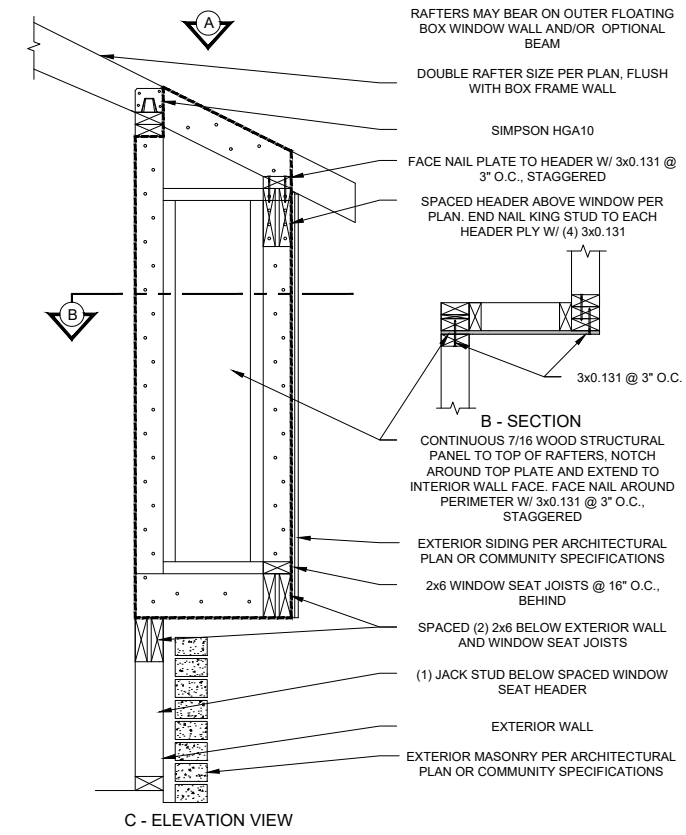
TRIMMER OPTION  
C TYPICAL BALLOON FRAMED WALLS

KING STUD SPECIFICATION OPTIONS	90 MPH				
	TRIBUTARY LENGTH, L ( FT )				
H ( FT )	2	3	4	5	
10	2-2x4	3-2x4	3-2x4	4-2x4	
	1-2x6	1-2x6	1-2x6	1-2x6	
12	3-2x4	4-2x4	2-2x6	2-2x6	
	1-2x6	1-2x6	1-2x8	1-2x8	
14	2-2x6	2-2x6	3-2x6	4-2x6	
	1-2x8	1-2x8	2-2x8	2-2x8	
18	2-2x6	3-2x6	4-2x6	2-2x8	
	1-2x8	2-2x8	2-2x8	1-2x10	
20	3-2x6	4-2x6	3-2x8	3-2x8	
	2-2x8	2-2x8	2-2x10	2-2x10	
24	3-2x8	4-2x8	3-2x10	3-2x10	
	2-2x10	2-2x10	2-2x12	2-2x12	

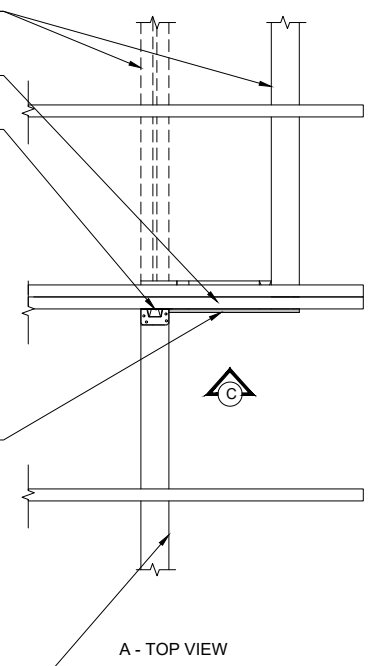
NOTES  
 1. 7/16 OSB SHEATHING REQUIRED FOR ALL WALLS EXCEEDING 10'. NO JOINTS WITHIN 24" OF HEADER/KING STUD INTERSECTION.  
 2. FOR WALL HEIGHTS EXCEEDING 14', HEADER TO BE MIN 3-PLY.  
 3. CONNECT 4 AND 5 PLY STUD BANKS WITH 1/2" THROUGH BOLTS @ 24" O.C.



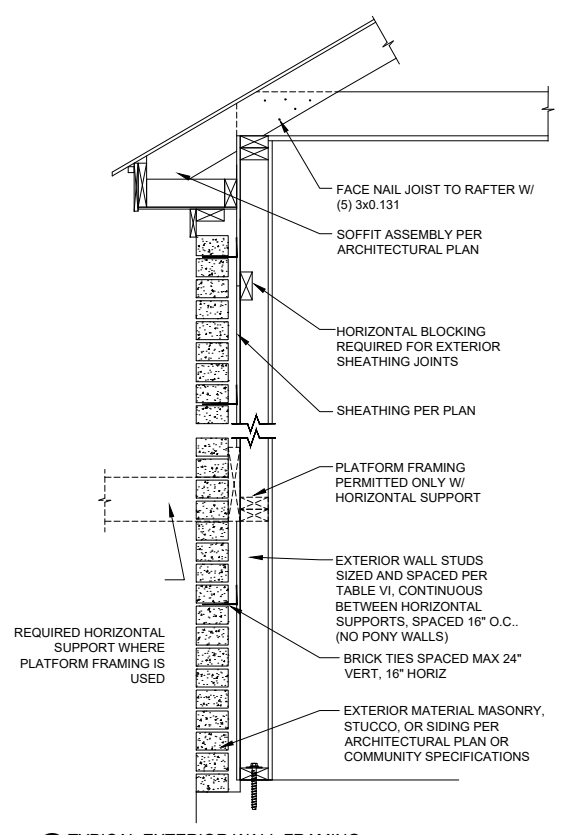
D BALLOON FRAME WALL @ BRICK POCKET



E FLOATING BOX WINDOW AT UPPER ROOF HEIGHT



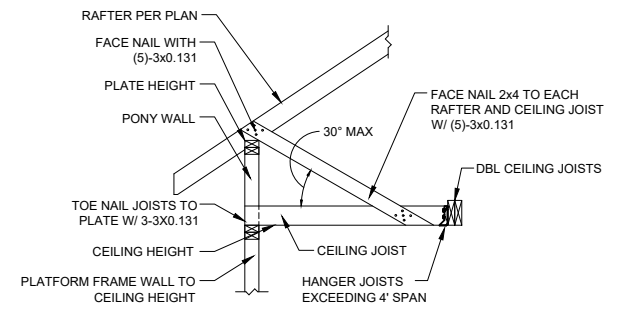
F WALL FRAMING TYPICAL BRICK POCKET



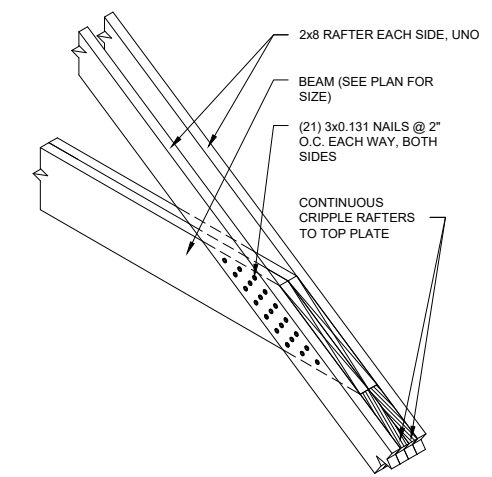
G TYPICAL EXTERIOR WALL FRAMING

6 TYPICAL WALL FRAMING

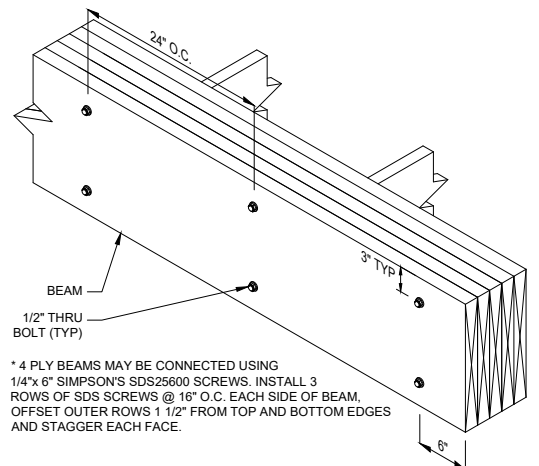
LOT: BLOCK: 18402 LAKELAND DRIVE  
 SECTION: PHASE: LAGO VISTA  
 CE:22101559 BY: ALE POINT VENTURE  
 2-26-21  
 9 DESIGN CUSTOM BUILDERS  
 INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 1301 COTTONWOOD CREEK TRAIL  
 SUITE 160A CEDAR PARK, TX 78613



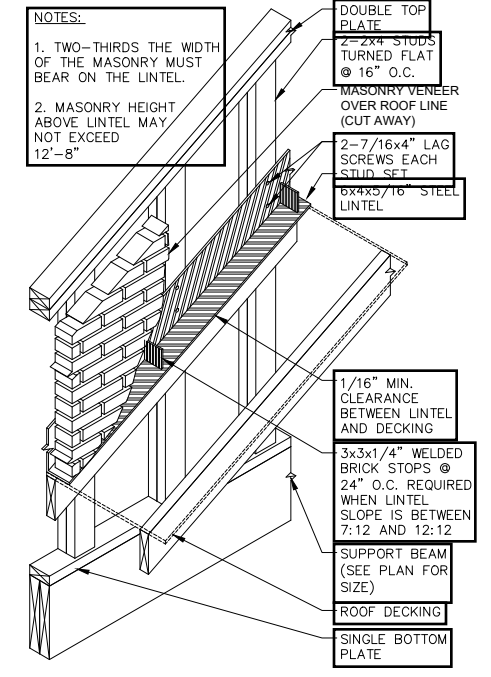
A RAFTER TIE AT RAISED PLATE



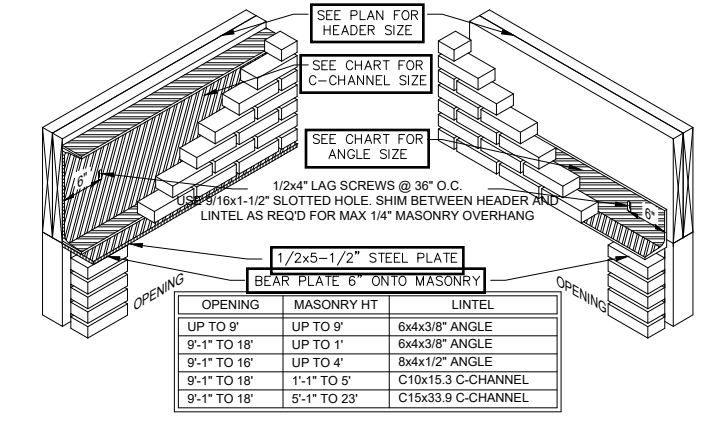
B RAFTER SUPPORTED BEAM (RSB)



C 4 AND 5 PLY BEAM CONNECTIONS

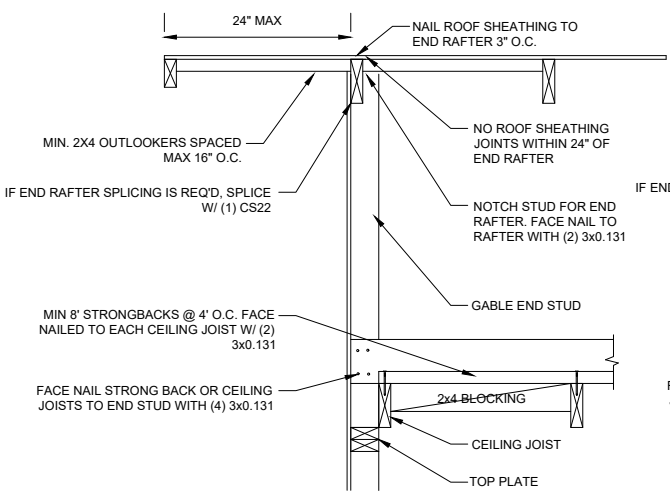


A MASONRY OVER ROOF

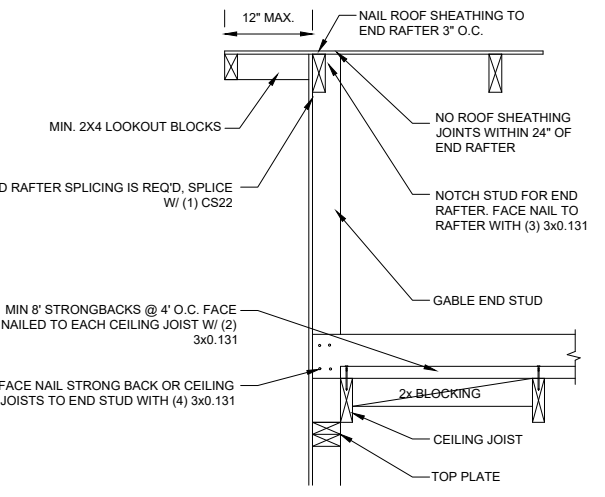


B MASONRY SUPPORT OVER OPENINGS

7 TYPICAL ROOF AND CEILING FRAMING DETAILS

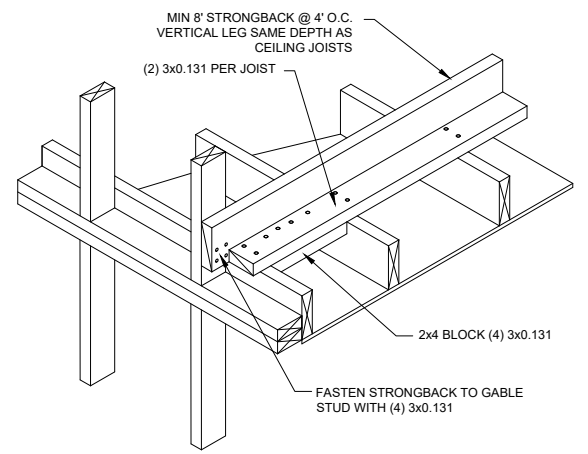


A OUTLOOKERS

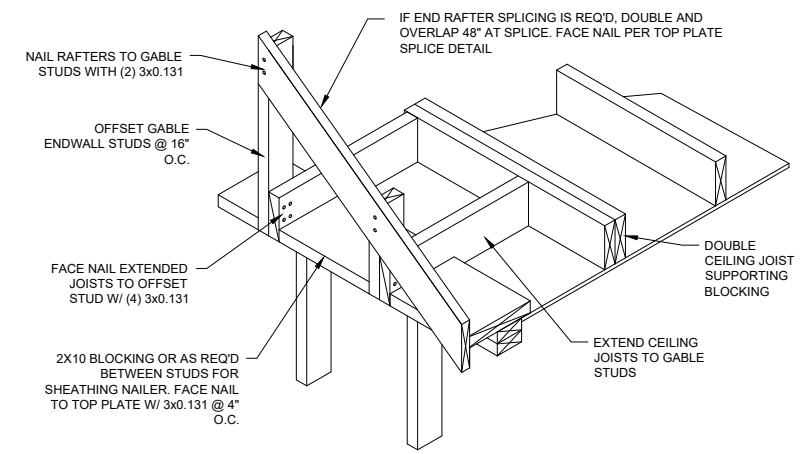


B LOOKOUT BLOCKS

8 LINTEL DETAILS



A ENDWALL BRACING



B OFFSET ENDWALL

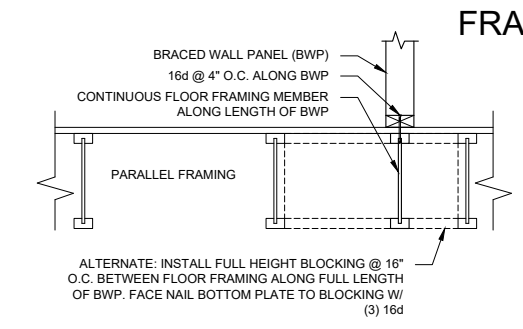
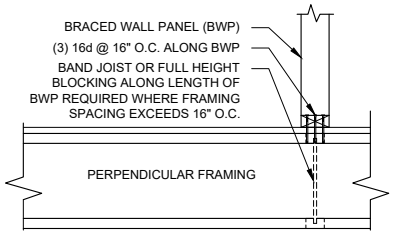
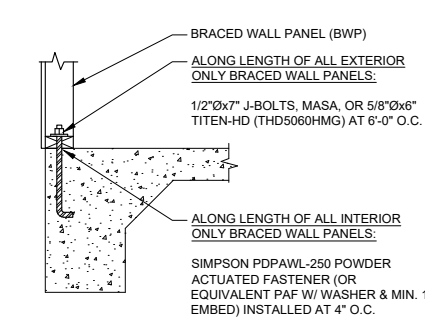
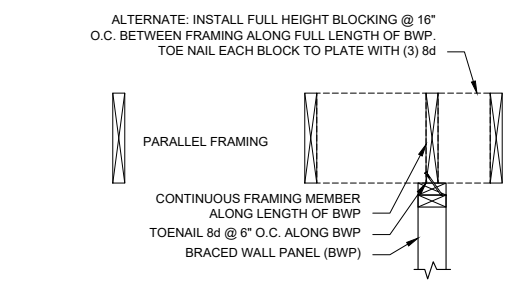
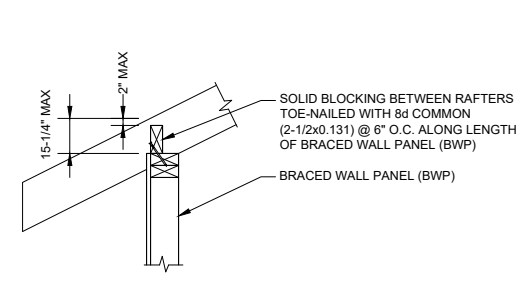
9 GABLE OVERHANG

10 GABLE WALL FRAMING

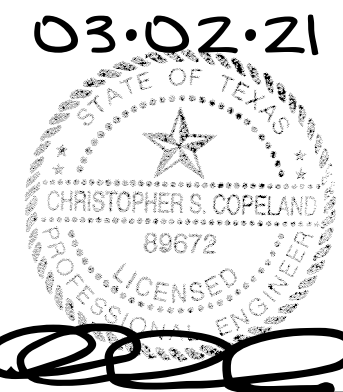
2-26-21  
 18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 9 DESIGN CUSTOM BUILDERS  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE







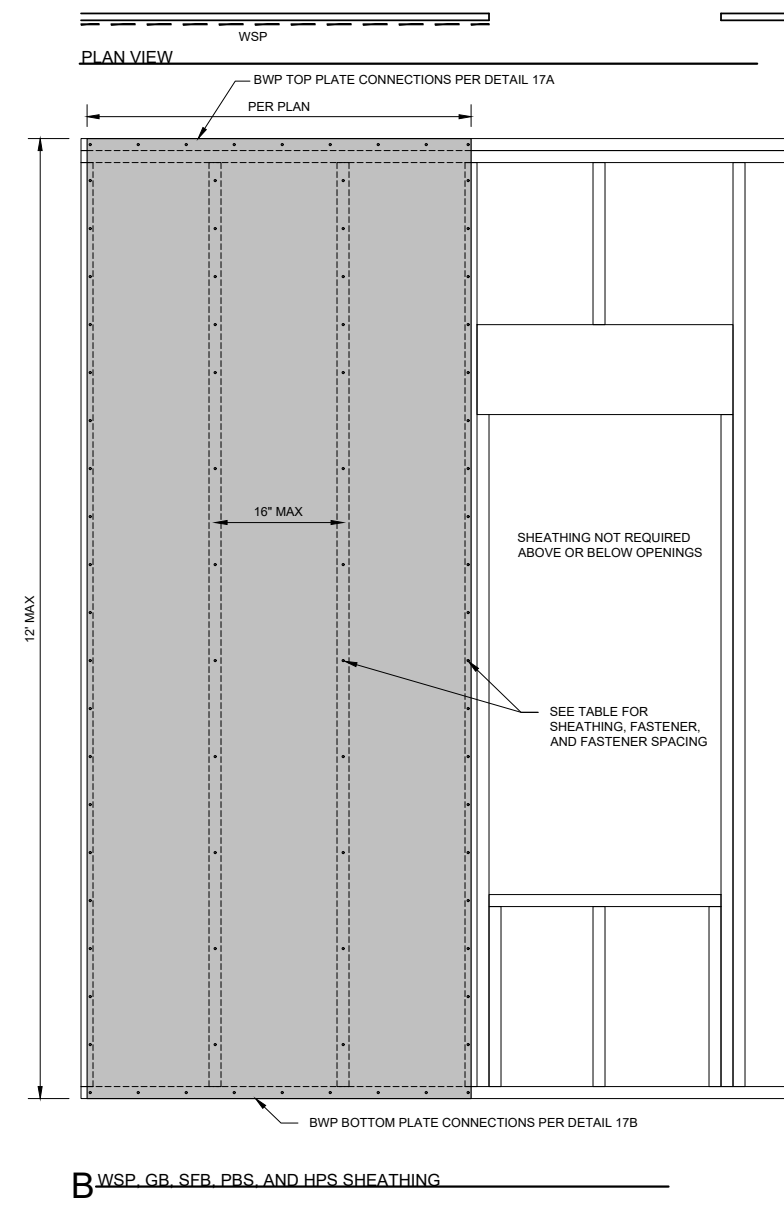
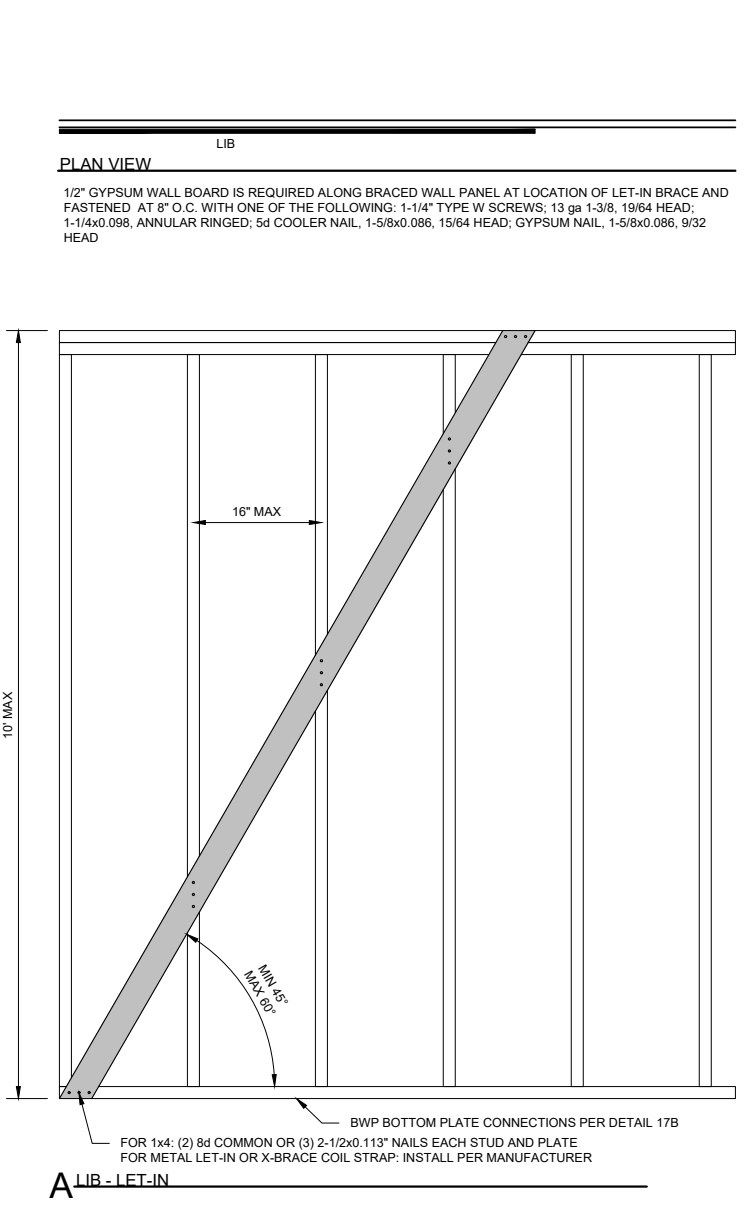
FRAMING DETAILS



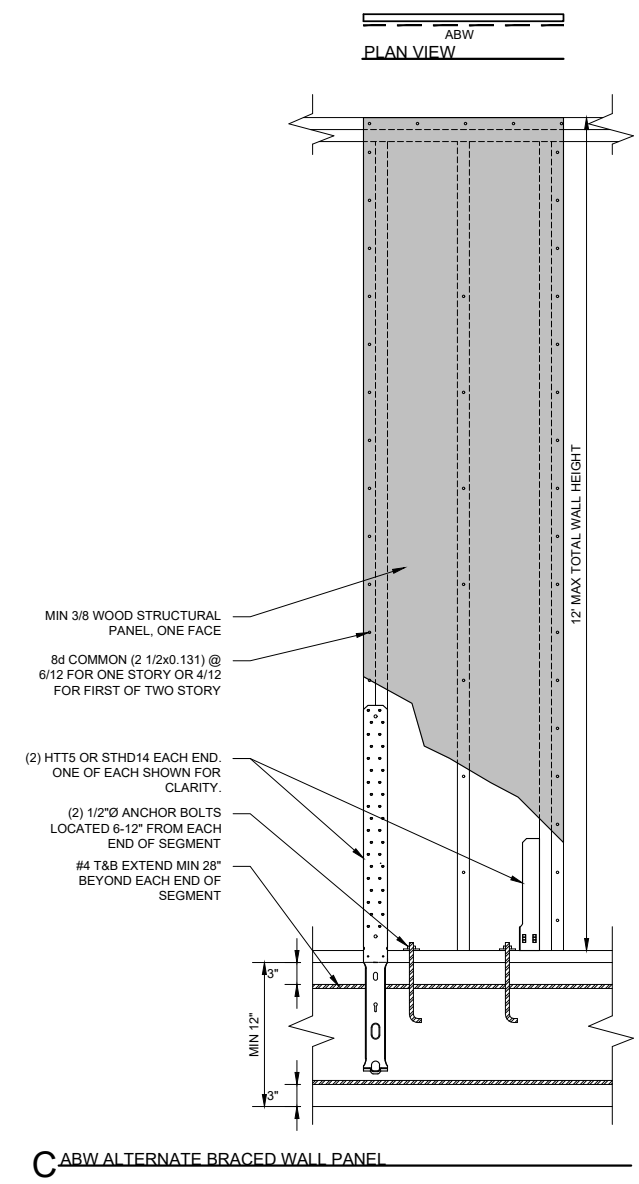
A BWP TOP PLATE CONNECTIONS

B BWP BOTTOM PLATE CONNECTIONS

17 BRACED WALL PANEL (BWP) CONNECTIONS

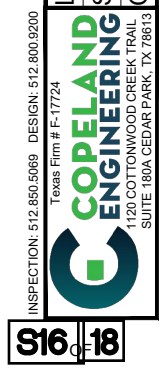


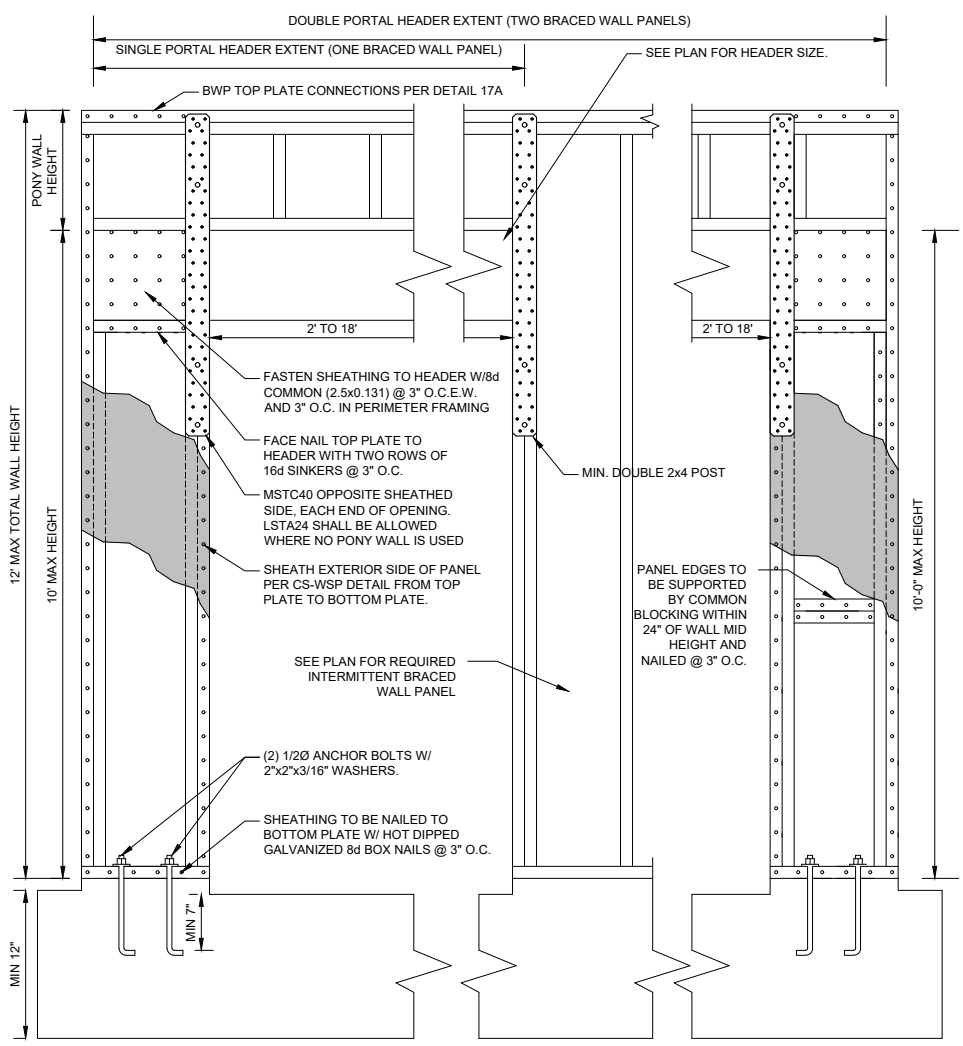
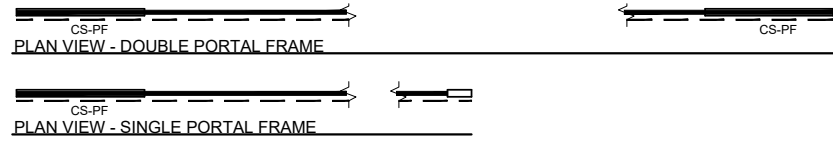
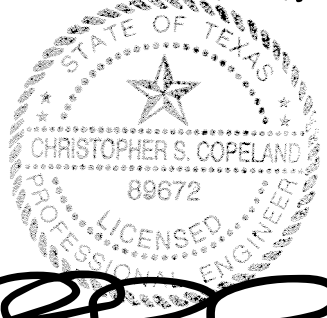
PRESCRIPTIVE BRACING INTERMITTENT SHEATHING CONSTRUCTION <sup>a,b</sup>			
BRACING METHOD	SHEATHING	FASTENER <sup>c</sup>	SPACING EDGE/FIELD
WSP	EXTERIOR 3/8" WOOD STRUCTURAL PANEL	6d COMMON (2.0x0.113)	6/12
	EXTERIOR 7/16" WOOD STRUCTURAL PANEL	8d COMMON (2.5x0.131)	6/12
	INTERIOR 3/8" OR 7/16" WOOD STRUCTURAL PANEL	6d COMMON (2x0.113)	6/12
		15 ga 1-3/4" NAIL <sup>d</sup>	4/8
	2-1/4x(0.097-0.099) NAIL <sup>d</sup>	3/6	
0.113" RED THERMOPLY	16 ga x1-1/4, 1" CROWN	3/3	
GB <sup>e</sup>	INTERIOR 1/2" GYPSUM PANEL	13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD; 1-1/4 TYPE W SCREWS;	7/7
		1-1/2 GALV. ROOF NAIL; 1-1/2 GALV STAPLE; 1-1/4 TYPE W SCREW	7/7
	EXTERIOR 5/8" GYPSUM PANEL	1-3/4 GALV. ROOF NAIL; 1-5/8 GALV STAPLE; 1-5/8 TYPE W SCREW	7/7
SFB	1/2" OR 25/32" STRUCTURAL FIBERBOARD (QUIETBRACE)	1-1/2x0.12 GALV. ROOFING NAILS (1-3/4 FOR 25/32"); 8d COMMON (2-1/2x0.131)	3/6
PBS	3/8" OR 1/2" PARTICLE BOARD	FOR 3/8: 6d COMMON (2x0.113)	3/6
		FOR 1/2: 8d COMMON (2-1/2x0.131)	3/6
HPS	7/16" HARDBOARD PANEL SIDING	0.092 DIA, 0.225 HEAD, 1-1/2 PENETRATION	4/8



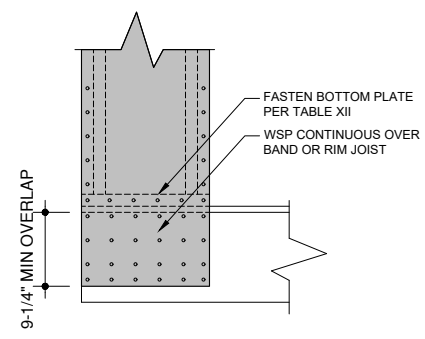
18 INTERMITTENT BRACING METHODS

LOT: BLOCK: 18402 LAKELAND DRIVE  
SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE  
2-26-21 9 DESIGN CUSTOM BUILDERS

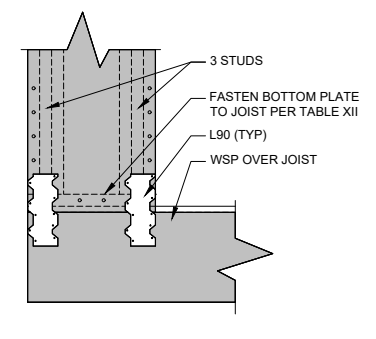




OVER CONCRETE

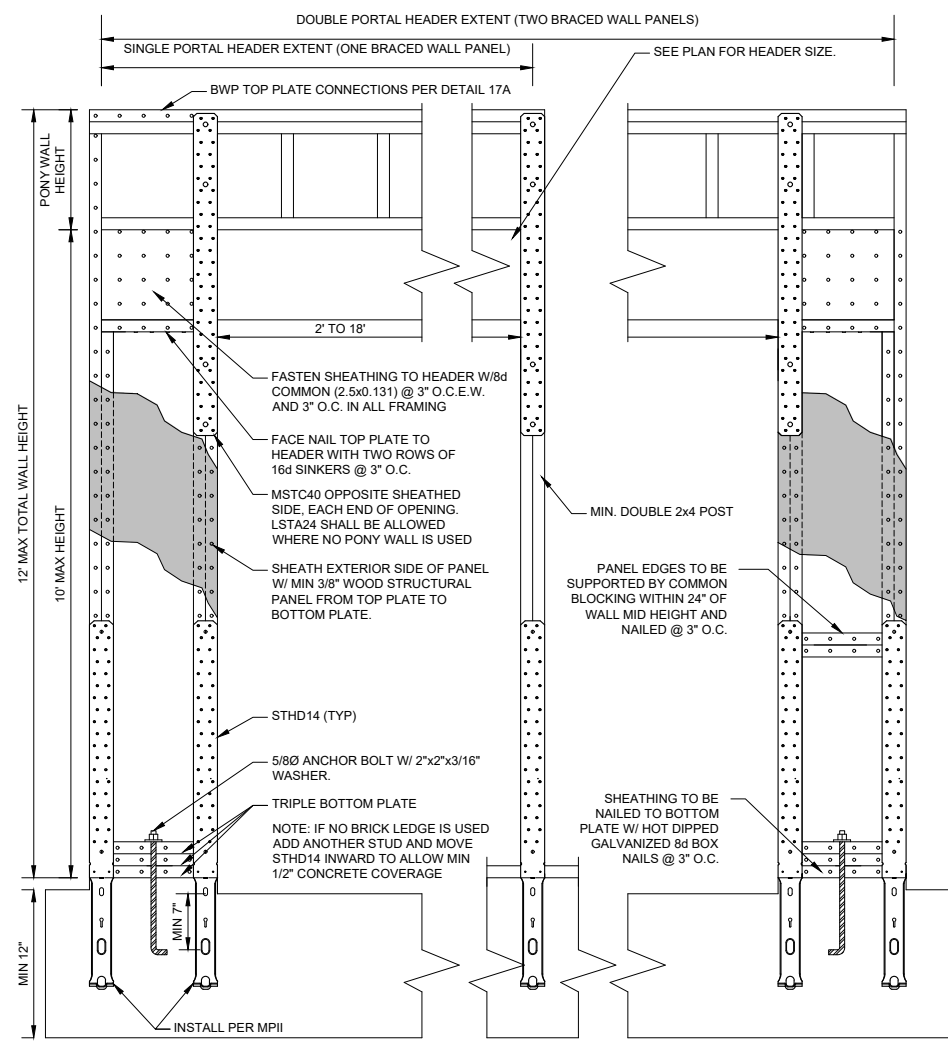
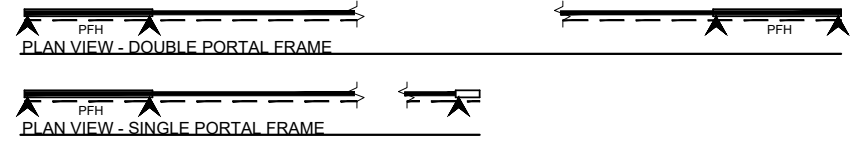


OVER WOOD FLOOR - OVERLAP OPTION



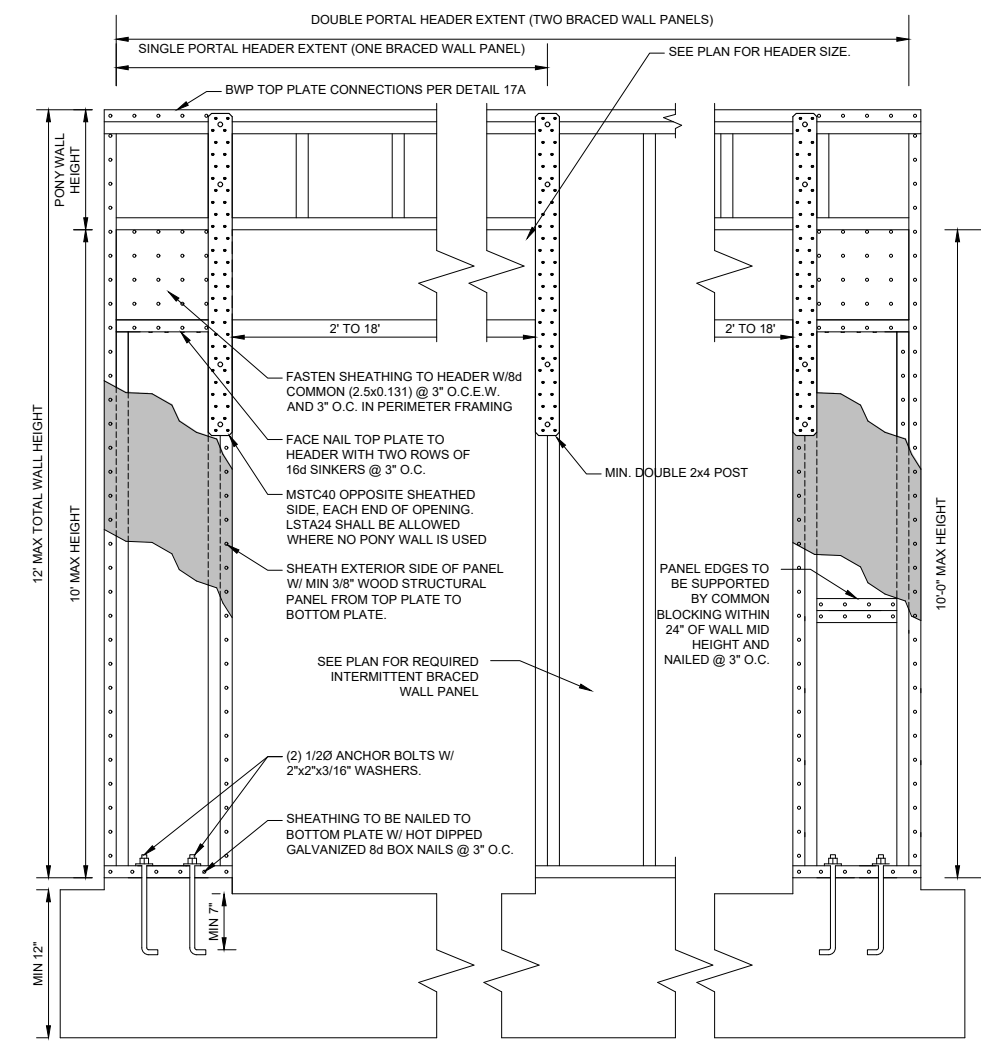
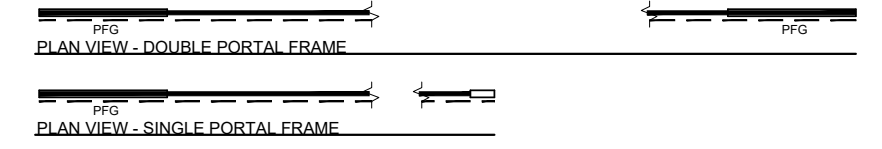
OVER WOOD FLOOR - L90 OPTION

19 CONTINUOUS SHEATHING BRACING METHODS



D PFH PORTAL FRAME WITH HOLD DOWNS

18 INTERMITTENT BRACING METHODS



F PFG PORTAL FRAME WITHOUT HOLD DOWNS

LOT: BLOCK: 18402 LAKELAND DRIVE

SECTION: PHASE: LAGO VISTA

CE:22101559 BY: ALE POINT VENTURE

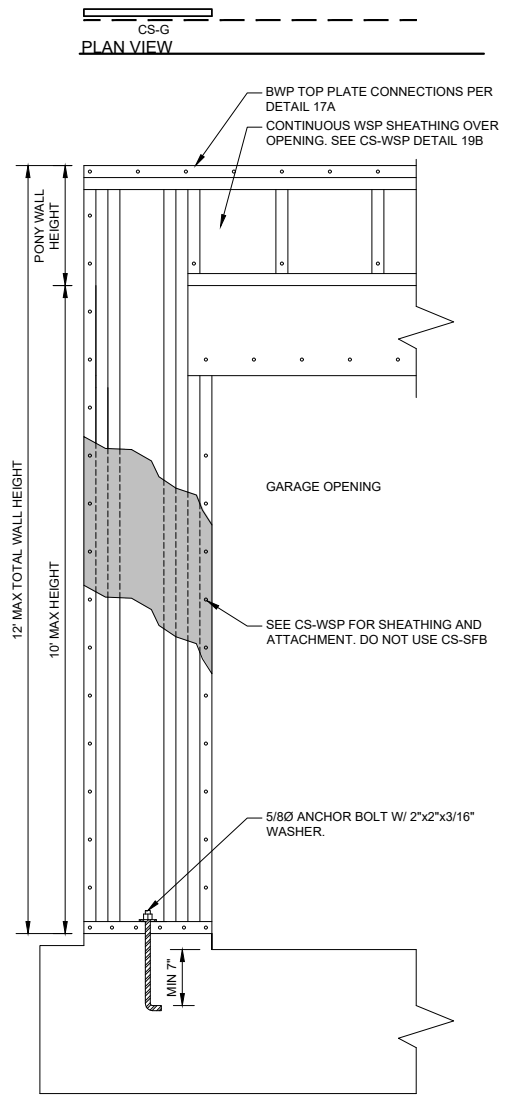
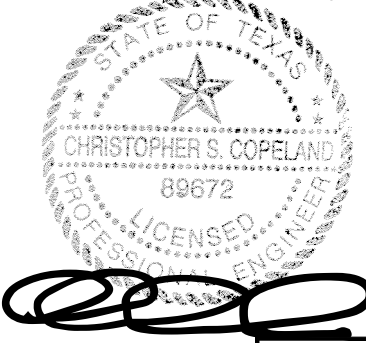
2-26-21 9 DESIGN CUSTOM BUILDERS

INSPECTION: 512.850.5089 DESIGN: 512.800.9200

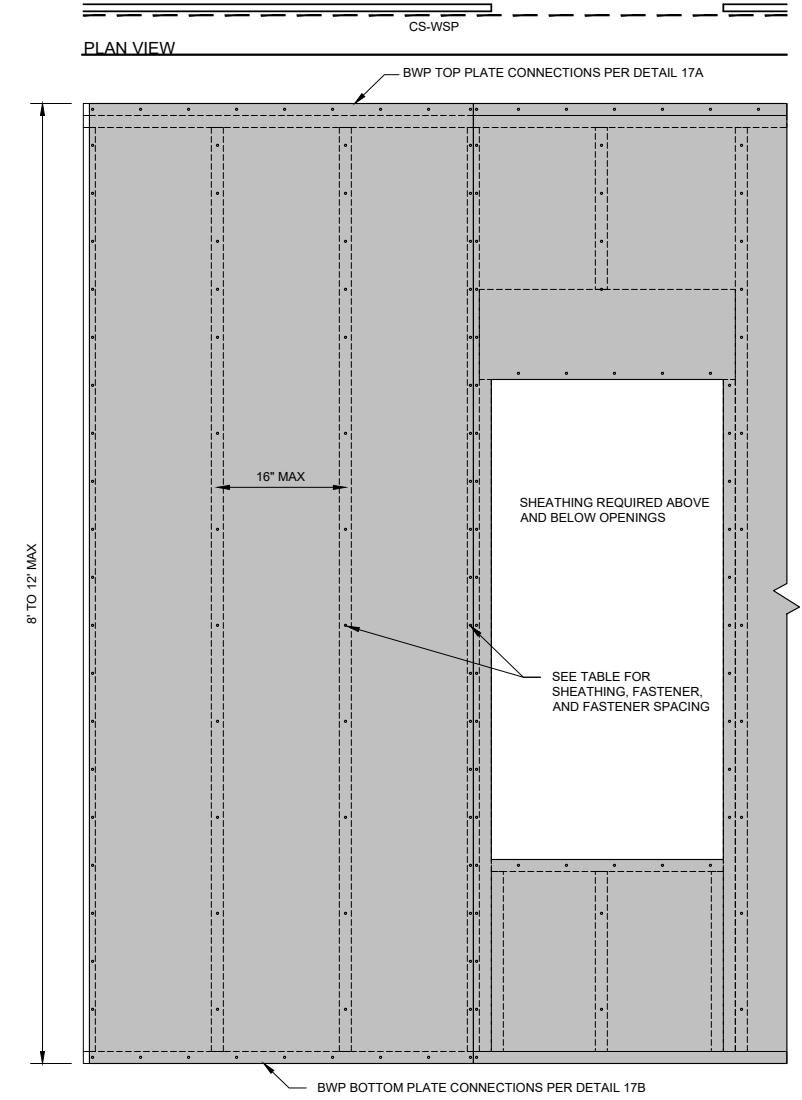
Texas Firm # F-17724

**COPELAND ENGINEERING**

1701 COTTONWOOD CREEK TRAIL, SUITE 160A CEDAR PARK, TX 78613



**B** CS-G CONTINUOUS SHEATHING AT GARAGE



**C** CS-WSP AND CS-SFB CONTINUOUS SHEATHING

PRESCRIPTIVE BRACING CONTINUOUS SHEATHING CONSTRUCTION <sup>a,b</sup>			
BRACING METHOD	SHEATHING	FASTENER <sup>c</sup>	SPACING EDGE/FIELD
CS-WSP	EXTERIOR 3/8" WOOD STRUCTURAL PANEL	6d COMMON (2.0x0.113)	6/12
	EXTERIOR 7/16" WOOD STRUCTURAL PANEL	8d COMMON (2.5x0.131)	6/12
	INTERIOR 3/8" OR 7/16" WOOD STRUCTURAL PANEL	6d COMMON (2x0.113)	6/12
		15 ga 1-3/4"	4/8
		2-1/4x(0.097-0.099) NAIL <sup>d</sup>	3/6
0.113" RED THERMOPLY	16 ga 1-3/4"	3/6	
CS-SFB	1/2" OR 25/32" STRUCTURAL FIBERBOARD (QUIETBRACE)	1-1/2x0.12 GALV. ROOFING NAILS (1-3/4 FOR 25/32"); 8d COMMON (2-1/2x0.131)	3/6

a. 1/2" GYPSUM WALL BOARD SHALL BE INSTALLED OPPOSITE SHEATHING AND FASTENED AT 16" O.C. WITH MIN 1-1/4 TYPE W SCREWS OR AT 8" O.C. WITH ONE OF THE FOLLOWING: 13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD

b. ALL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON MINIMUM 1 1/2" STUDS OR BLOCKING.

c. STAPLES SHALL BE MINIMUM 16ga AND CROWN WIDTH OF 7/16, UNO.

d. NAIL IS A GENERAL DESCRIPTION AND MAY BE T-HEAD, ROUND HEAD, OR MODIFIED ROUND HEAD.

**WINDOW SCHEDULE**

PRODUCT CODE	SIZE	COUNT
2010KG-TEMP	2'-0" x 1'-0"	2
4018HS	4'-0" x 1'-6"	1
2040SH	2'-0" x 4'-0"	1
3060SH	3'-0" x 6'-0"	11
4060SH	4'-0" x 6'-0"	2

**DOOR SCHEDULE**

PRODUCT CODE	SIZE	COUNT
L388C00L DB 6/16in	2'-8" x 8'-0"	1
L308C00L DB 6/16in	3'-0" x 8'-0"	1
L308C0GLS DB	3'-0" x 8'-0"	1
L388H8E DB	2'-8" x 6'-8"	1
2088C00L DDI	2'-0" x 6'-8"	1
4088C00L DDI	4'-0" x 6'-8"	3
6088C00L DDI	6'-0" x 6'-8"	1
L308C00L 6/16in	3'-0" x 6'-8"	1
R3486C00L	2'-4" x 6'-8"	4
R3886C00L	2'-8" x 6'-8"	1
R3086C00L	3'-0" x 6'-8"	2
L3488C00L	2'-4" x 6'-8"	3
L2886C00L	2'-8" x 6'-8"	2
R3086C00L	2'-0" x 6'-8"	1
R3486C00L	2'-4" x 6'-8"	1
B4688GLSCL DDI	5'-4" x 6'-8"	1

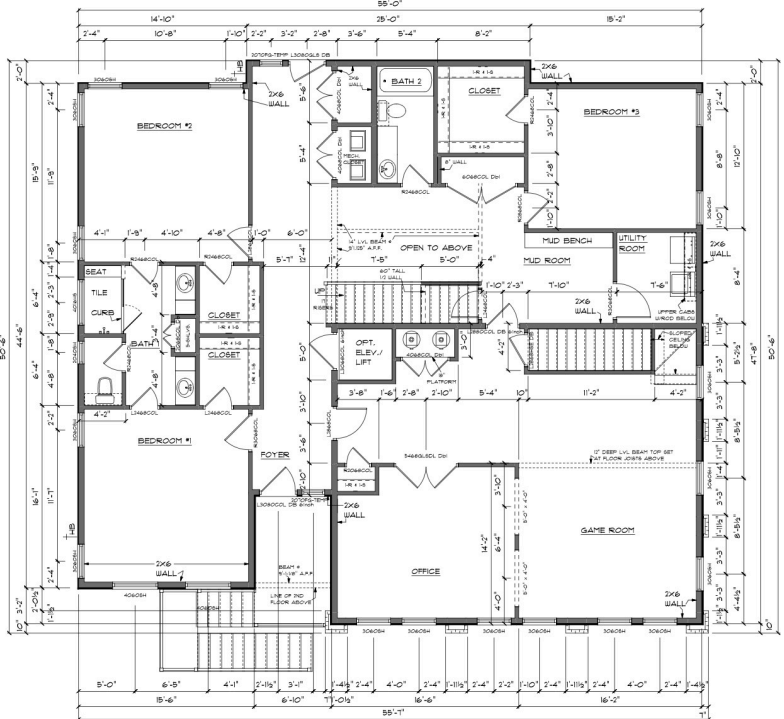
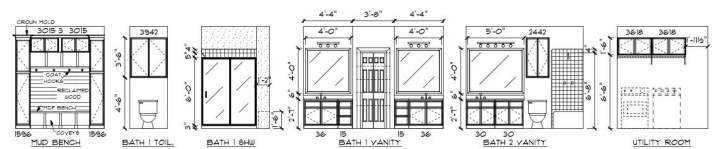
**FRAMING NOTES (UNLESS NOTED OTHERWISE, U.N.O.)**

- JOIST SPACING BASED ON JOISTMAN TABLES PER SPAN TABLES TO BE USED BY CONTRACTOR. CONTRACTOR SHALL VERIFY ALL SPAN WITH TABLE OR ENGINEER.
- ALL FLOOR BEAMS AND JOISTS TO CONFORM TO TABLE 205.1.3
- ALL FLOOR BEAMS SHALL BE PROPERLY BRACED WITH 2x4 LATH AT EACH END AND AT 2x4 SPACINGS BETWEEN BEAMS. ALL FLOOR BEAMS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE TO BE TREATED WITH PRESURE TREATED LATH.
- ALL JOIST SPACING AND JOISTS TO BE 16" O.C. UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF FINISHING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.
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- ROOF TRUSSING: THE MAXIMUM UNIFORMED SPAN FOR RAFTERS SHALL CONFORM TO 205.1.3. ALL RAFTERS SHALL BE 2x6 UNLESS OTHERWISE NOTED OTHERWISE BY CONTRACTOR PER U.N.O. AND RAFTERS SHALL BE PRESURE TREATED UNLESS OTHERWISE NOTED OTHERWISE BY STRUCTURAL ENGINEER.

**GENERAL NOTES**

- OWNER TO HAVE 5/8" FIBROCE GYPSUM BOARD OVER ALL PARTS OF WALLS AND CEILING.
- OWNER TO PROVIDE INSULATION UNDER SLEEPING AREAS AND OVER SLEEPING AREAS. INSULATION SHALL BE 2" MIN. CLEAR NET SPACING AND 1/2" MIN. CLEAR NET SPACING.
- OWNER TO PROVIDE INSULATION UNDER SLEEPING AREAS AND OVER SLEEPING AREAS. INSULATION SHALL BE 2" MIN. CLEAR NET SPACING AND 1/2" MIN. CLEAR NET SPACING.
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**1ST FLOOR OPT. ELEVATOR**

1/4" = 1' ON 24" X 36" PAPER

- 1:1-20 1ST FLR LAYOUT
- 1:1-20 1ST FLR LAYOUT
- 1:1-20 2ND FLR 1ST FLR REV. SECTION L/R PART RT. FIB. ROUGH SCH
- 1:1-20 OPT. ELEVATOR
- 1:1-20 OPT. ELEVATOR B
- 1:1-20 ELEVATIONS, INT
- 1:1-20 DETAILS, ROOF JOISTS
- 1:1-20 MICRO AT ISLAND
- 1:1-20 NO ELEV. WIND. CHANGING 2ND FL. G. JOISTS CHECK.
- 1:1-20 ADD STAIR RISER AT BOTTOM OF STAIRS



Preferred Home Design  
8318 Stable Brook Dr.  
San Antonio, TX 78249  
Ph. 210-294-5566  
Email: phd@aig.net

SQUARE FOOTAGES:	
FIRST FLOOR	1703
GAME ROOM	807
SECOND FLOOR	1710
TOTAL LIVING	4215
FRT PORCH GARAGE	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3008 CONDITION  
CUSTOMER: S DESIGN CUSTOM BUILDERS  
DATE: September 01, 2021  
LOT: 500 BERT I  
SUBDIVISION: POINT VENTURE  
ADDRESS: 8642 LAKELAND DRIVE  
LUGO, MISSA, TX 78040

**WINDOW SCHEDULE**

PRODUCT CODE	SIZE	COUNT
2070FG-TEMP	2'-0" x 1'-0"	2
4016HS	4'-0" x 1'-6"	1
2040SH	2'-0" x 4'-0"	1
3060SH	3'-0" x 6'-0"	17
4060SH	4'-0" x 6'-0"	2

**DOOR SCHEDULE**

PRODUCT CODE	SIZE	COUNT
L288COL DB 6inch	2'-8" x 8'-0"	1
L308COL DB 6inch	3'-0" x 8'-0"	1
L308OGLS DB	3'-0" x 8'-0"	1
L288HSE DB	2'-8" x 6'-8"	1
2068COL DBI	2'-0" x 6'-8"	1
4068COL DBI	4'-0" x 6'-8"	3
6068COL DBI	6'-0" x 6'-8"	1
L3068COL 6inch	3'-0" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	4
R288COL	2'-8" x 6'-8"	1
R3068COL	3'-0" x 6'-8"	2
L2468COL	2'-4" x 6'-8"	3
L288COL	2'-8" x 6'-8"	2
R2068COL	2'-0" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	1
5468GL8DL DBI	5'-4" x 6'-8"	1

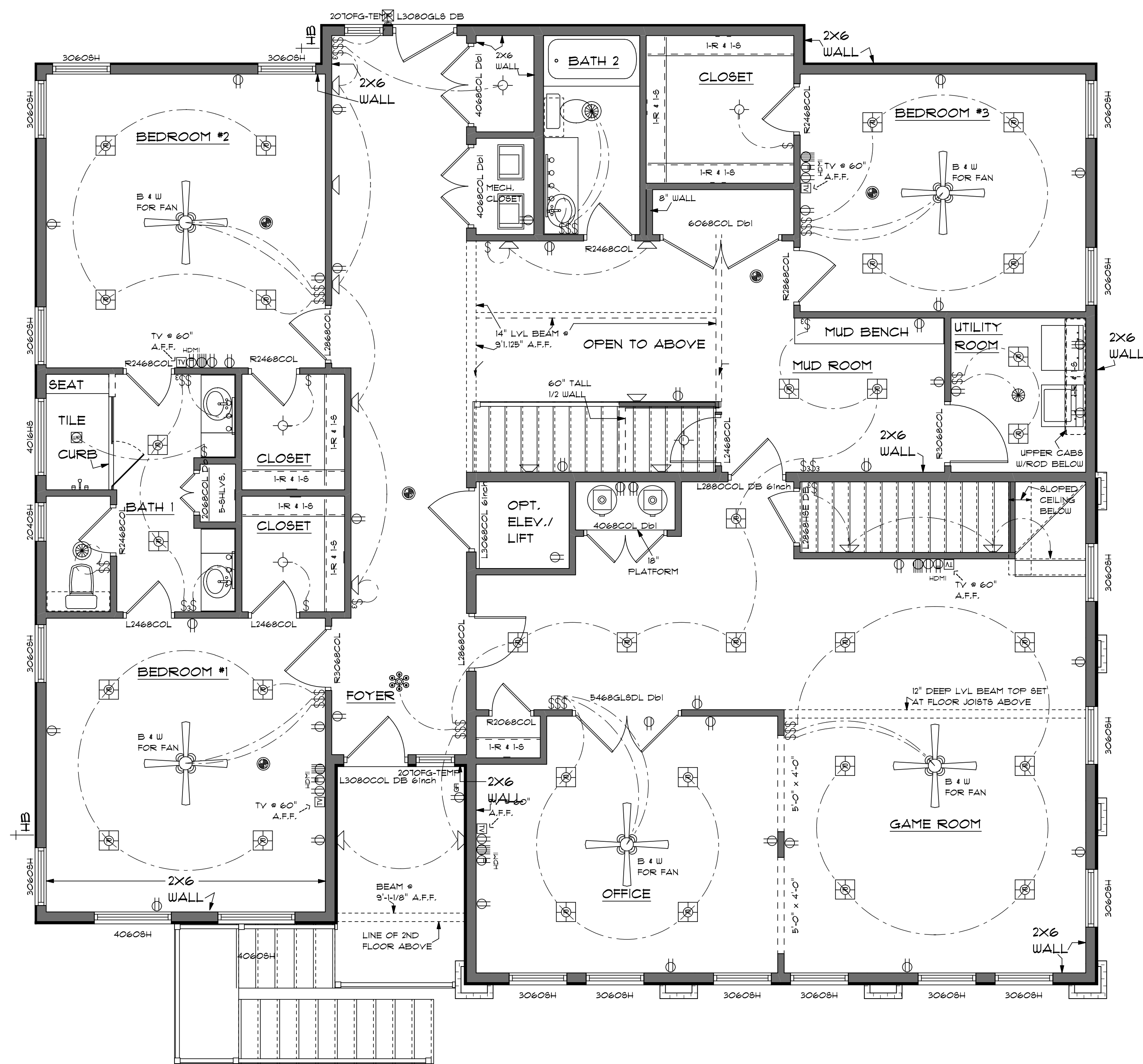
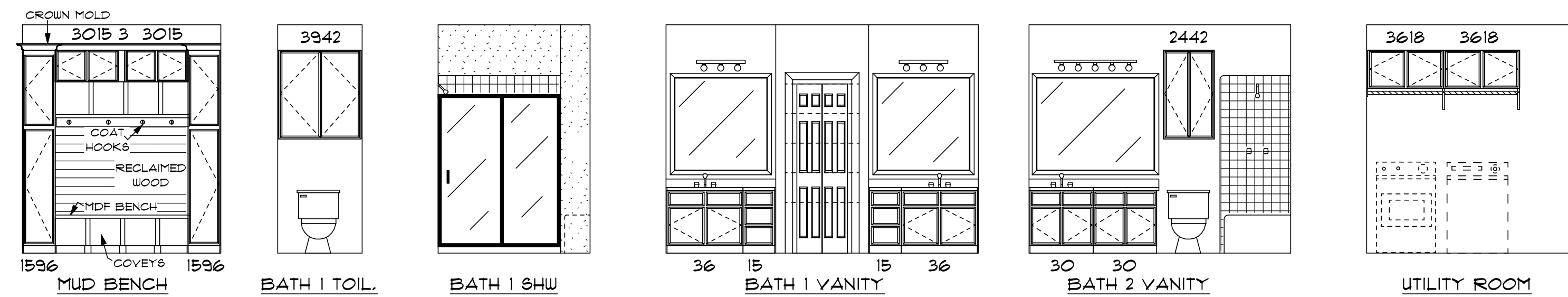
**FRAMING NOTES : (UNLESS NOTED OTHERWISE: U.N.O.)**

- JOIST SPANS BASED ON SOUTHERN YELLOW PINE SPAN TABLES (2-15-15)
- CONTRACTOR WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER
- ALL STUDS SPACING AND HEIGHTS TO ACCOUNT FOR ROOF AND FLOOR LOADS AND CONFORM TO 2012 IRC TABLE R602.3.1
- ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1/4" LET-IN AT EACH END AND AT 20" MAX. SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR WALL PLATES TO BE PRESSURE TREATED LUMBER.
- ALL CEILING JOISTS, RAFTERS AND HEADERS TO BE NO. 2 S.Y.F. BEAMS TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- ROOF FRAMING: THE MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL CONFORM TO 2012 IRC TABLE R602.3.1(2). RAFTERS ARE TO BE SUPPORTED, WHEN REQUIRED, BY CONTINUOUS PERLIN WITH NOMINAL SIZE EQUAL TO THE RAFTERS THEY SUPPORT, BRACED DOWN TO LOAD BEARING WALLS 148" O.C. AND MAXIMUM ANGLE FOR BRACES + 45 DEGREES, MAX. UNSUPPORTED LENGTH FOR BRACES 48". PROVIDE 2X6 COLLAR TIES @ 48" O.C. IN UPPER THIRD OF RAFTERS.
- ROOF LIVE LOAD + 20 PSF.
- ROOF DECKING SHALL BE 7/16" O.S.B. WITH 1/4" CLIP.
- ALL JOIST FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U JOIST METAL HANGERS.
- ALL BEAMS FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2X6 OR 2X8 STUDS. HEADERS SHALL CONFORM TO 2012 IRC TABLE R502.5(1)(2) WITH O.S.B. IN BETWEEN (U.N.O.).
- STUD WALLS 12" OR HIGHER SHALL BE 2X6, 2X4 OR 4X4 STUDS @ 16" O.C. TWO FLOORS ABOVE SHALL BE 2X6, 2X4 OR 4X4 STUDS SPACED PER 2012 IRC TABLE R602.3.1
- CONTRACTOR SHALL VERIFY FIELD DIMENSIONS AND DETAILS, NOTIFY THE PROJECT ARCHITECT/ENGINEER OF ANY DISCREPANCY AND REVIEW FOR RECOMMENDATIONS OR REVISIONS IF NECESSARY.
- ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO LOCAL CODES AND OSHA GUIDELINES.
- DOUBLE ALL CEILING JOIST AND RAFTERS THAT SUPPORT FURNACES IN ATTIC

**GENERAL NOTES:**

- GARAGE TO HAVE 5/8" FIRECODE GYPSUM BOARD ON ALL COMMON WALLS AND CEILING.
- ESCAPE RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 sq.ft. CLEAR NET OPENING AND MIN. CLEAR OPENING HT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED BILL HT. SHALL BE MAX. 40" ABOVE FLOOR.
- CONTRACTOR TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE.
- ONE HOUR RATED GYPSUM BOARD UNDER STAIRS.
- CROSS VENTILATION AT ENCLOSED ATTICS.
- ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25' OF A/C COMPRESSOR (GFI IF NOT IN SCHEDULE)
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0".
- BALLUSTERS AT 4' MAX. CLEAR SPACING.
- PREFAB FIREPLACE TO BE UBC APPROVED. MANUFACTURERS MANUAL TO BE PROVIDED TO FIELD INSPECTOR.
- GARAGE TO HAVE 8"x16" VENTS TO O/S 1-FER CAR AND WITHIN 6" FROM FLOOR.
- PROVIDE S.C. DOOR W/AUTO CLOSER FROM GARAGE TO MAIN HOUSE
- WINDOWS IN EACH ROOM SHALL EXCEED 10% OF FLOOR AREA OF THE ROOM.
- WINDOWS WITHIN 24" RAD. OF VERTICAL EDGE OF EXTERIOR DOOR AND LESS THAN 60" ABOVE FLOOR SHALL HAVE SAFETY GLAZING.
- MAXIMUM HEIGHT OF WINDOW BILL IN BEDROOMS 44" AFF
- RAISE WATER HEATERS IN GARAGES 18" AFF
- ALL WINDOWS TO BE LOW-E GLASS.
- SMOKE DETECTORS TO BE WIRED IN SERIES W/ BATTERY BACKUP.
- ALL EXTERIOR SOLE PLATES TO BE TREATED WITH 1/2" ANCHOR BOLTS AT MINIMUM 6'-0" O.C.
- THIS STRUCTURE TO BE BUILT TO SUSTAIN 30 M.P.H. WIND CRITERIA AS PER SECTION R301.2(1) AND TABLE R301.2(4)
- MASONRY VENEER ANCHORAGE AT 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY WITH WEEP HOLES MAXIMUM 33" O.C. ANCHORAGE SHALL NOT SUPPORT MORE THAN 3.25 S.F. OF WALL AREA
- ALL CHIMNEYS TO HAVE CRICKET ON BACK SIDE

ELECTRICAL	COUNT	SYMBOL
Block and Wire For Fan	5	B 4 W FOR FAN
CO2 Sm Detector	5	[Symbol]
Candellier	1	[Symbol]
Carriage Light 2	1	[Symbol]
Cat 5	5	[Symbol]
Ceiling Fan w/Lite	5	[Symbol]
Ceiling Globe	5	[Symbol]
HDMI	5	[Symbol]
Outlet 110	42	[Symbol]
Outlet 220	4	[Symbol]
Outlet GFI	1	[Symbol]
Recessed Can	32	[Symbol]
Recessed Can WP	1	[Symbol]
Switch	34	[Symbol]
Switch 3 Way	8	[Symbol]
TV	5	[Symbol]
Vanity 3 Bulb	2	[Symbol]
Vanity 5 Bulb	1	[Symbol]
Vent Fan	1	[Symbol]
Vent Light	2	[Symbol]
Wall Sconce	14	[Symbol]



**1ST FLOOR OPT. ELEVATOR ELECTRIC 1/4" = 1' ON 24" X36" PAPER**

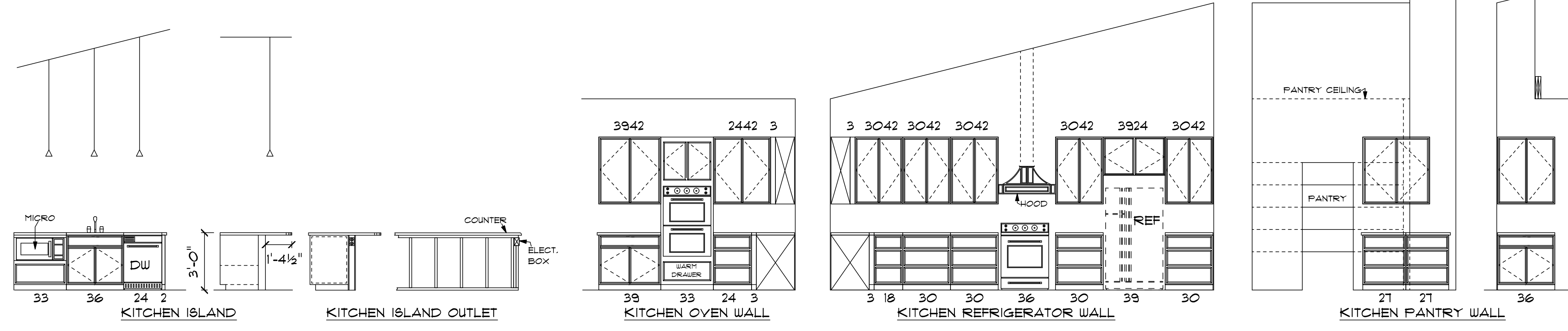
- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRNT & RT, M/B, ROUGH 3D
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- B-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- B-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C. JOISTS, CHECK

**Preferred Home Design**  
 6318 Stable Brook Dr.  
 San Antonio, TX 78249  
 Ph: 210-204-0549  
 Email: phdmail@att.net

**SQUARE FOOTAGES:**

FIRST FLOOR	1703
GAME ROOM	802
SECOND FLOOR	1710
TOTAL LIVING	4215
FRONT PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION
CUSTOMER: 9 DESIGN CUSTOM BUILDERS
DATE: August 24, 2020
LOT: 50 SECT: 1
SUBDIVISION: POINT VENTURE
ADDRESS: 18402 LAKELAND DRIVE
LAGO VISTA, TX 78645



**DOOR SCHEDULE**

PRODUCT CODE	SIZE	COUNT
L3068COL DB	3'-0" x 6'-8"	1
I2068GLSLIDE XOOX 6 IN	12'-5" x 6'-8"	1
I6068GLSLIDE XOOX 6IN	12'-5" x 6'-8"	1
5468COL DBI	5'-4" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	1
2468COLPKT	2'-2" x 6'-8"	2

**WINDOW SCHEDULE**

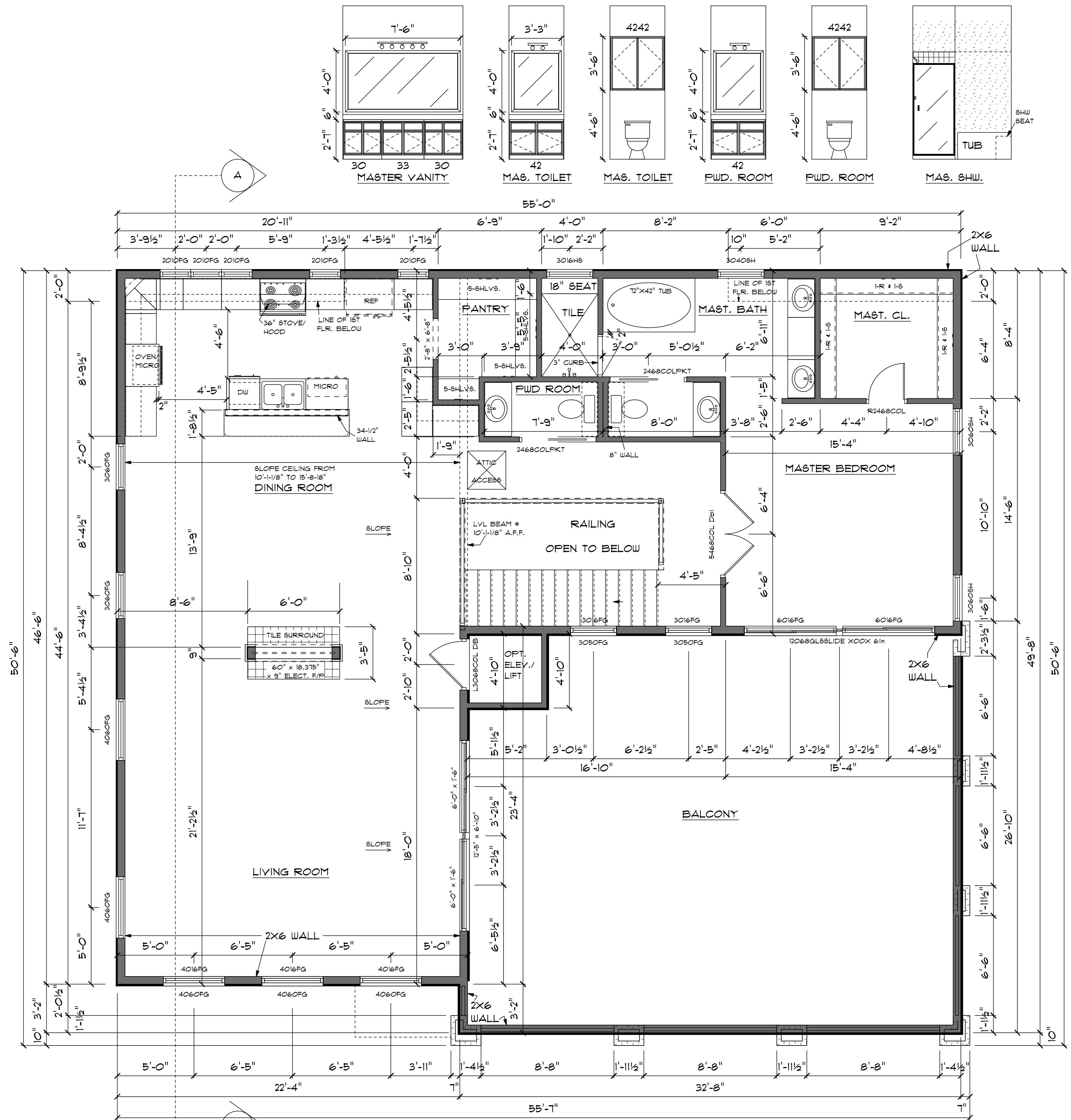
PRODUCT CODE	SIZE	COUNT
2010FG	2'-0" x 1'-0"	5
3016FG	3'-0" x 1'-6"	2
3050FG	3'-0" x 5'-0"	2
3060FG	3'-0" x 6'-0"	2
4016FG	4'-0" x 1'-6"	3
4060FG	4'-0" x 6'-0"	5
6016FG	6'-0" x 1'-6"	4
3016H8	3'-0" x 1'-6"	1
3040SH	3'-0" x 4'-0"	1
3060SH	3'-0" x 6'-0"	2

**FRAMING NOTES : (UNLESS NOTED OTHERWISE: U.N.O.)**

- JOIST SPANS BASED ON SOUTHERN YELLOW PINE SPAN TABLES (2-15-15)
- CONTRACTOR WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER
- ALL STUDS SPACING AND HEIGHTS TO ACCOUNT FOR ROOF AND FLOOR LOADS AND CONFORM TO 2012 IRC TABLE R602.3.1
- ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1x4 LET-IN AT EACH END AND AT 28" MAX. SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR WALL PLATES TO BE PRESSURE TREATED LUMBER.
- ALL CEILING JOISTS, RAFTERS AND HEADERS TO BE NO. 2 S.Y.P. BEAMS TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- ROOF FRAMING: THE MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL CONFORM TO 2012 IRC TABLE R802.5.1(1)(2). RAFTERS ARE TO BE SUPPORTED, WHEN REQUIRED, BY CONTINUOUS PERLIN WITH NOMINAL SIZE EQUAL TO THE RAFTERS THEY SUPPORT. BRACED DOWN TO LOAD BEARING WALLS @ 48" O.C. AND MAXIMUM ANGLE FOR BRACES + 45 DEGREES, MAX. UNSUPPORTED LENGTH FOR BRACES @ 8'. PROVIDE 2x6 COLLAR TIES @ 48" O.C. IN UPPER THIRD OF RAFTERS. ROOF LIVE LOAD + 20 PSF.
- ROOF DECKING SHALL BE 1/8" O.S.B. WITH "4" CLIPS.
- ALL JOIST FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON JOIST METAL BRACERS.
- ALL BEAMS FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2-2X4 OR 2-2X6 STUDS.
- HEADERS SHALL CONFORM TO 2012 IRC TABLE R502.5(1)(2) WITH O.S.B. IN BETWEEN (U.N.O.).
- STUD WALLS 12" OR HIGHER SHALL BE 2X6, 2-2X4 OR 4X4 STUDS @ 16" O.C. TWO FLOORS ABOVE SHALL BE 2X6, 2-2X4 OR 4X4 STUDS SPACED PER 2012 IRC TABLE R602.3.1
- CONTRACTOR SHALL VERIFY FIELD DIMENSIONS AND DETAILS, NOTIFY THE PROJECT ARCHITECT/ENGINEER OF ANY DISCREPANCY AND REVIEW FOR RECOMMENDATIONS OR REVISIONS IF NECESSARY.
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- DOUBLE ALL CEILING JOIST AND RAFTERS THAT SUPPORT FURNACES IN ATTIC

**GENERAL NOTES:**

- GARAGE TO HAVE 5/8" FIRECODE GYPSUM BOARD ON ALL COMMON WALLS AND CEILING.
- ESCAPE FIRECODE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 sq.ft. CLEAR NET OPENING AND MIN. CLEAR OPENING HT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED SILL HT. SHALL BE MAX. 40" ABOVE FLOOR.
- CONTRACTOR TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE.
- ONE HOUR RATED GYPSUM BOARD UNDER STAIRS.
- CROSS VENTILATION AT ENCLOSED ATTICS.
- ELECTRICAL CONTRACTOR TO LOCATE IOV OUTLET WITHIN 25' OF A/C COMPRESSOR (GFI IF NOT IN SCOFF).
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0".
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- MASONRY VENEER ANCHORAGE AT 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY WITH WEEP HOLES MAXIMUM 33" O.C. ANCHORAGE SHALL NOT SUPPORT MORE THAN 3.29 S.F. OF WALL AREA
- ALL CHIMNEYS TO HAVE CRICKET ON BACK SIDE



**2ND FLOOR OPT. ELEVATOR**

1/4" = 1' ON 24" X 36" PAPER

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRT# RT, M/B, ROUGH 3D#
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- B-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- B-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C. JOISTS, CHECK

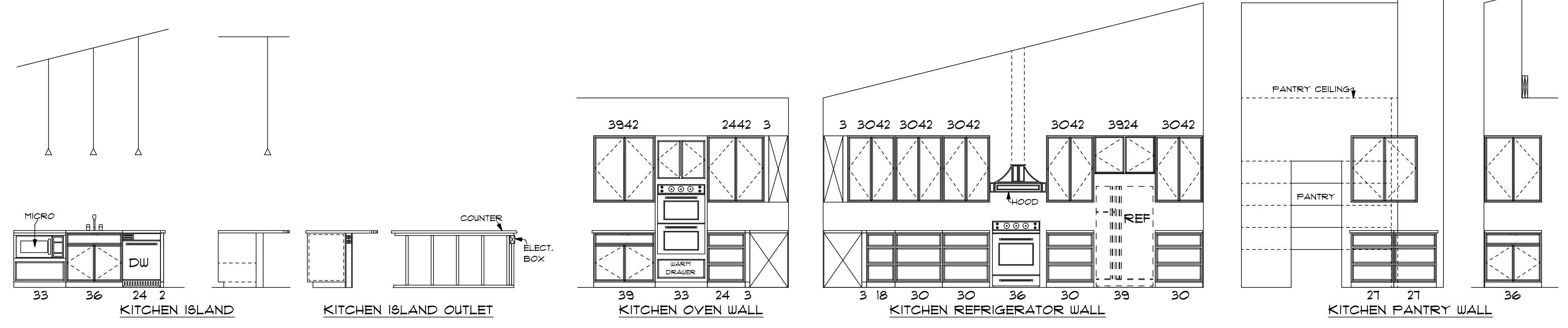
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 Ph: 210-204-0549  
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PLAN: 3503 CONSTITUTION  
 CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
 DATE: August 24, 2020  
 LOT: 50 SECT: 1  
 SUBDIVISION: POINT VENTURE  
 ADDRESS: 18402 LAKELAND DRIVE LAGO VISTA, TX: 78645

1-1-20 1ST FLR LAYOUT  
 1-13-20 1ST FLR/GAR LAYOUT  
 1-22-20 2ND FLR, 1ST FLR  
 REV, SECTION L/R FRM# RT,  
 M/B, ROUGH 3D#  
 1-24-20 OPT. ELEVATOR  
 1-31-20 OPT. ELEVATOR B  
 8-7-20 ELEVATIONS, INT  
 DETAILS, ROOF, JOISTS  
 8-24-20 MICRO AT ISLAND  
 NO ELEV WIND, D/R CHAND  
 2ND FL C. JOISTS, CHECK



**DOOR SCHEDULE**

PRODUCT CODE	SIZE	COUNT
L3068COL DB	3'-0" x 6'-8"	1
12068GLSLIDE XOOX 6 IN	12'-5" x 6'-8"	1
16068GLSLIDE XOOX 6IN	12'-5" x 6'-8"	1
5468COL DBI	5'-4" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	1
2468COLPKT	2'-2" x 6'-8"	2

**WINDOW SCHEDULE**

PRODUCT CODE	SIZE	COUNT
2010FG	2'-0" x 1'-0"	5
3016FG	3'-0" x 1'-6"	2
3050FG	3'-0" x 5'-0"	2
3060FG	3'-0" x 6'-0"	2
4016FG	4'-0" x 1'-6"	3
4060FG	4'-0" x 6'-0"	5
6016FG	6'-0" x 1'-6"	4
3016H8	3'-0" x 1'-6"	1
3040SH	3'-0" x 4'-0"	1
3060SH	3'-0" x 6'-0"	2

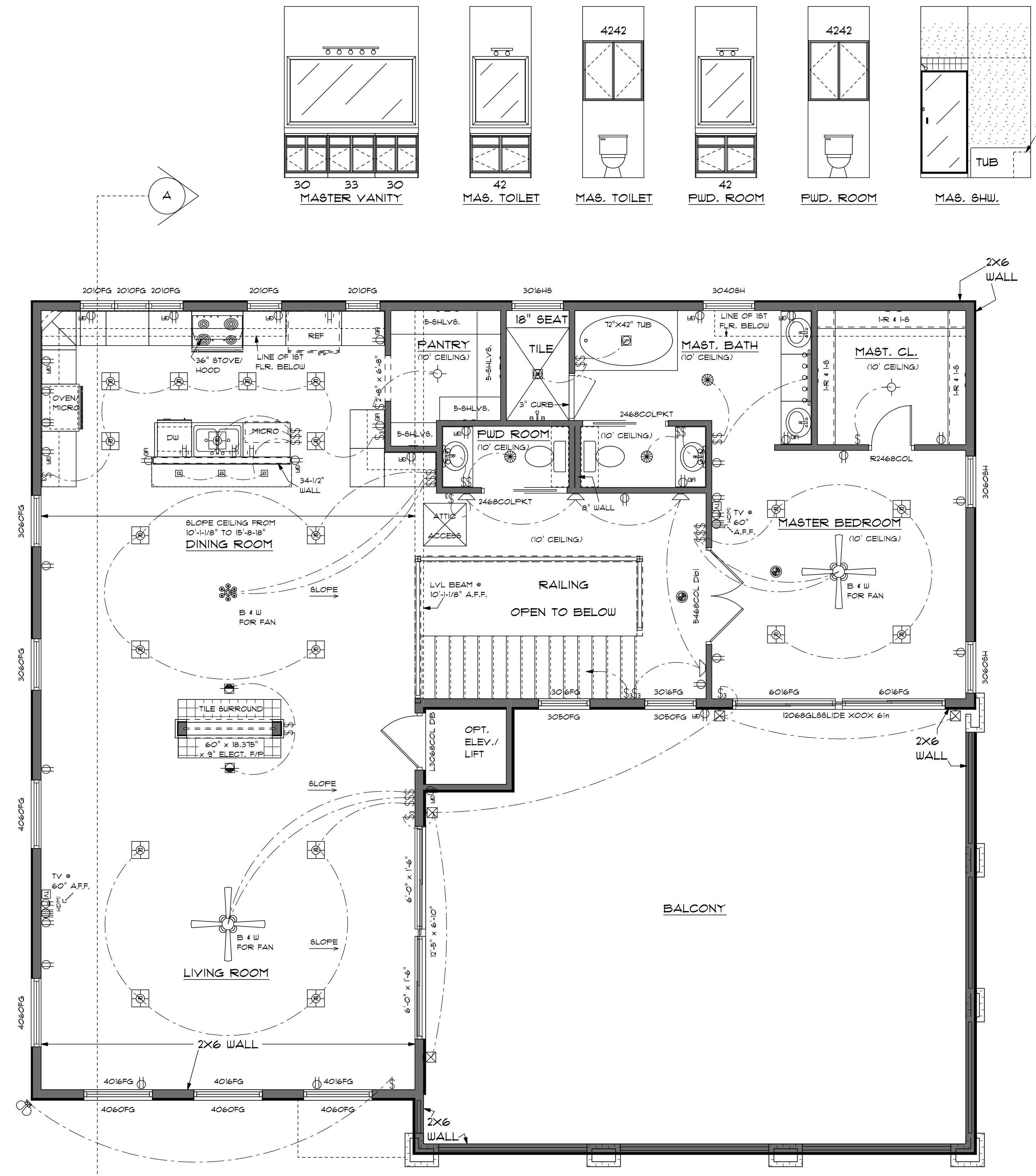
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- CONTRACTOR WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER
- ALL STUDS SPACING AND HEIGHTS TO ACCOUNT FOR ROOF AND FLOOR LOADS AND CONFORM TO 2012 IRC TABLE R602.3.1
- ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1x4 LET-IN AT EACH END AND AT 28" MAX. SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR WALL PLATES TO BE PRESSURE TREATED LUMBER.
- ALL CEILING JOISTS, RAFTERS AND HEADERS TO BE NO. 2 S.Y.P. BEAMS TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- ROOF FRAMING:  
THE MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL CONFORM TO 2012 IRC TABLE R802.5.1(1)(2). RAFTERS ARE TO BE SUPPORTED, WHEN REQUIRED, BY CONTINUOUS PERLIN WITH NOMINAL SIZE EQUAL TO THE RAFTERS THEY SUPPORT. BRACED DOWN TO LOAD BEARING WALLS @ 48" O.C. AND MAXIMUM ANGLE FOR BRACES = 45 DEGREES, MAX. UNSUPPORTED LENGTH FOR BRACES @ 8'. PROVIDE 2x6 COLLAR TIES @ 48" O.C. IN UPPER THIRD OF RAFTERS. ROOF LIVE LOAD = 20 PSF.
- ROOF DECKING SHALL BE 1/8" O.S.B. WITH 1/4" CLIPS.
- ALL JOIST FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U JOIST METAL BRACKETS.
- ALL BEAM FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2-2x4 OR 2-2x6 STUDS.
- HEADERS SHALL CONFORM TO 2012 IRC TABLE R502.5.1(2) WITH O.S.B. IN BETWEEN (U.N.O.).
- STUD WALLS 12' OR HIGHER SHALL BE 2x6, 2-2x4 OR 4x4 STUDS @ 16" O.C. TWO FLOORS ABOVE SHALL BE 2x6, 2-2x4 OR 4x4 STUDS SPACED PER 2012 IRC TABLE R602.3.1
- CONTRACTOR SHALL VERIFY FIELD DIMENSIONS AND DETAILS, NOTIFY THE PROJECT ARCHITECT/ENGINEER OF ANY DISCREPANCY AND REVIEW FOR RECOMMENDATIONS OR REVISIONS IF NECESSARY.
- ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO LOCAL CODES AND OSHA GUIDELINES.
- DOUBLE ALL CEILING JOIST AND RAFTERS THAT SUPPORT FURNACES IN ATTIC

**GENERAL NOTES:**

- GARAGE TO HAVE 5/8" FIRECODE GYPSUM BOARD ON ALL COMMON WALLS AND CEILING.
- ESCAPE RESCUE WINDOWS FROM SLEEPING AREAS SHALL HAVE MIN. 5.7 sq.ft. CLEAR NET OPENING AND MIN. CLEAR OPENING HT. OF 24" AND MIN. CLEAR OPENING WIDTH OF 20". FINISHED SILL HT. SHALL BE MAX. 40" ABOVE FLOOR.
- CONTRACTOR TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE.
- ONE HOUR RATED GYPSUM BOARD UNDER STAIRS.
- CROSS VENTILATION AT ENCLOSED ATTIC.
- ELECTRICAL CONTRACTOR TO LOCATE 100V OUTLET WITHIN 25' OF A/C COMPRESSOR (GFI IF NOT IN SCOFF).
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0".
- BALLUSTERS AT 4" MAX. CLEAR SPACING.
- PREFAB FIREPLACE TO BE USC APPROVED. MANUFACTURERS MANUAL TO BE PROVIDED TO FIELD INSPECTOR.
- GARAGE TO HAVE 8"x16" VENTS TO O/S I/FER CAR AND WITHIN 6" FROM FLOOR.
- PROVIDE S.C. DOOR W/ AUTO CLOSER FROM GARAGE TO MAIN HOUSE
- WINDOWS IN EACH ROOM SHALL EXCEED 10% OF FLOOR AREA OF THE ROOM.
- WINDOWS WITHIN 24" RAD. OF VERTICAL EDGE OF EXTERIOR DOOR AND LESS THAN 60" ABOVE FLOOR SHALL HAVE SAFETY GLAZING.
- MAXIMUM HEIGHT OF WINDOW SILL IN BEDROOMS 44" AFF
- RAISE WATER HEATERS IN GARAGES 18" AFF
- ALL WINDOWS TO BE LOW-E GLASS.
- SMOKE DETECTORS TO BE WIRED IN SERIES W/ BATTERY BACKUP.
- ALL EXTERIOR SOLE PLATES TO BE TREATED WITH 1/2" ANCHOR BOLTS AT MINIMUM 6'-0" O.C.
- THIS STRUCTURE TO BE BUILT TO SUSTAIN 90 M.P.H. WIND CRITERIA AS PER SECTION R301.2(1) AND TABLE R301.2(4)
- MASONRY VENEER ANCHORAGE AT 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY WITH WEEP HOLES MAXIMUM 33" O.C. ANCHORAGE SHALL NOT SUPPORT MORE THAN 3.25 S.F. OF WALL AREA
- ALL CHIMNEYS TO HAVE CRICKET ON BACK SIDE

ELECTRICAL	COUNT	SYMBOL
Block and Wire For Fan	3	B 4 U FOR FAN
CO2 Sm Detector	2	
Candeller	1	
Carriage Light 2	4	
Cat 5	2	
Ceiling Fan w/Lite	2	
Ceiling Globe	2	
Double Flood	1	
HDMI	2	
Outlet 110	19	
Outlet GFI	17	
Pendant Cube	3	
Recessed Can	19	
Recessed Can WP	2	
Switch	22	
Switch 3 Way	7	
TV	2	
Vanity 2 Bulb	2	
Vanity 5 Bulb	1	
Vent Fan	3	
Wall Sconce	4	

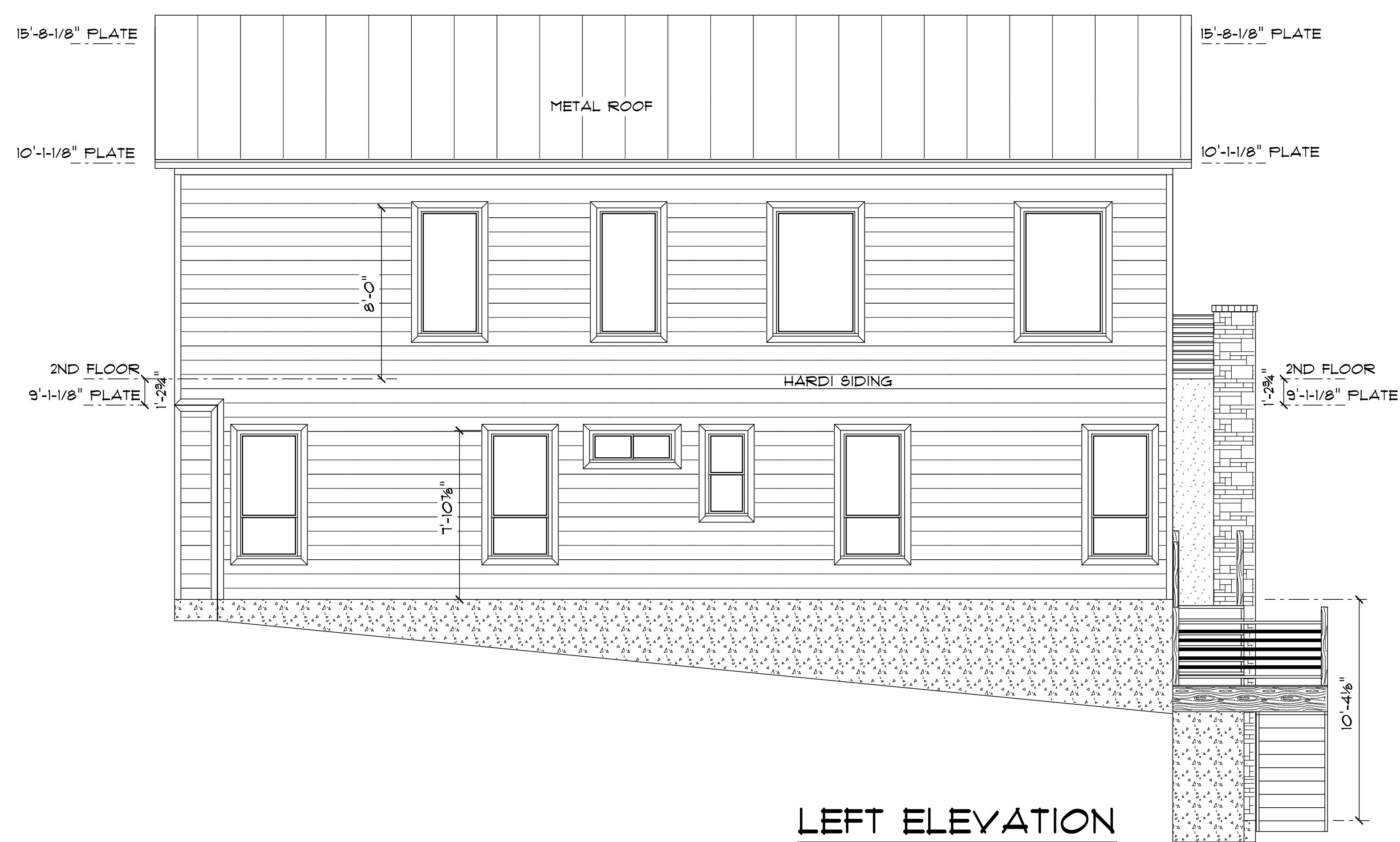
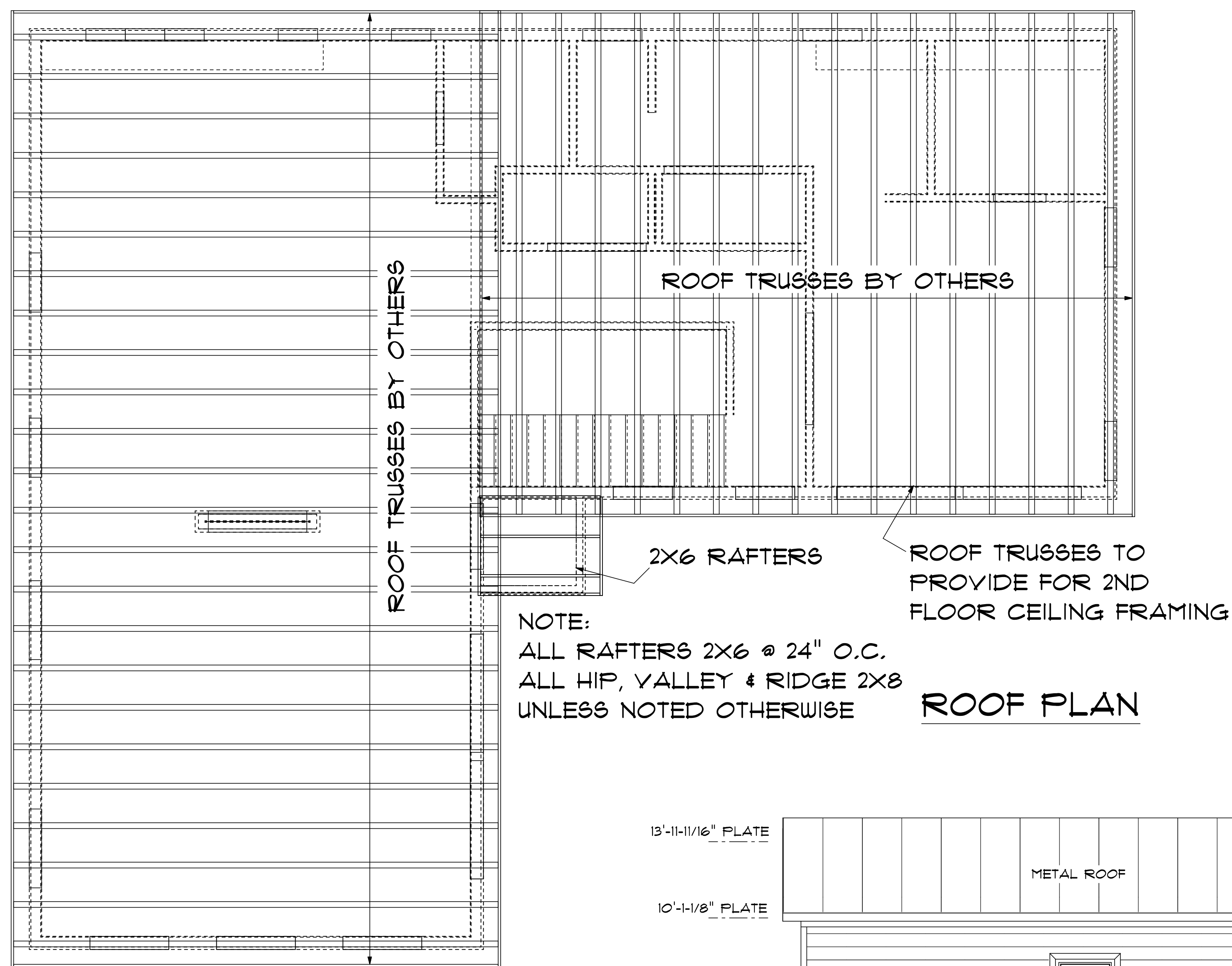


**Preferred Home Design**  
 6318 Stable Brook Dr.  
 San Antonio, TX 78249  
 Ph: 210-204-0549  
 Email: phd@mail@att.net

**SQUARE FOOTAGES:**

FIRST FLOOR	1703
GAMEROOM	802
SECOND FLOOR	1710
TOTAL LIVING	4215
FRY PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION  
 CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
 DATE: August 24, 2020  
 LOT: 50 SECT: 1  
 SUBDIVISION: POINT VENTURE  
 ADDRESS: 18402 LAKELAND DRIVE  
 LAGO VISTA, TX: 78645



T-1-20 1ST FLR LAYOUT  
 T-13-20 1ST FLR/GAR LAYOUT  
 T-22-20 2ND FLR, 1ST FLR  
 REV. SECTION L/R FRRT RT,  
 M/B, ROUGH 3D's  
 T-24-20 OPT. ELEVATOR  
 T-31-20 OPT. ELEVATOR B  
 8-1-20 ELEVATIONS, INT  
 DETAILS, ROOF, JOISTS  
 8-24-20 MICRO AT ISLAND  
 NO ELEV WIND, D/R CHAND  
 2ND FL. C. JOISTS, CHECK

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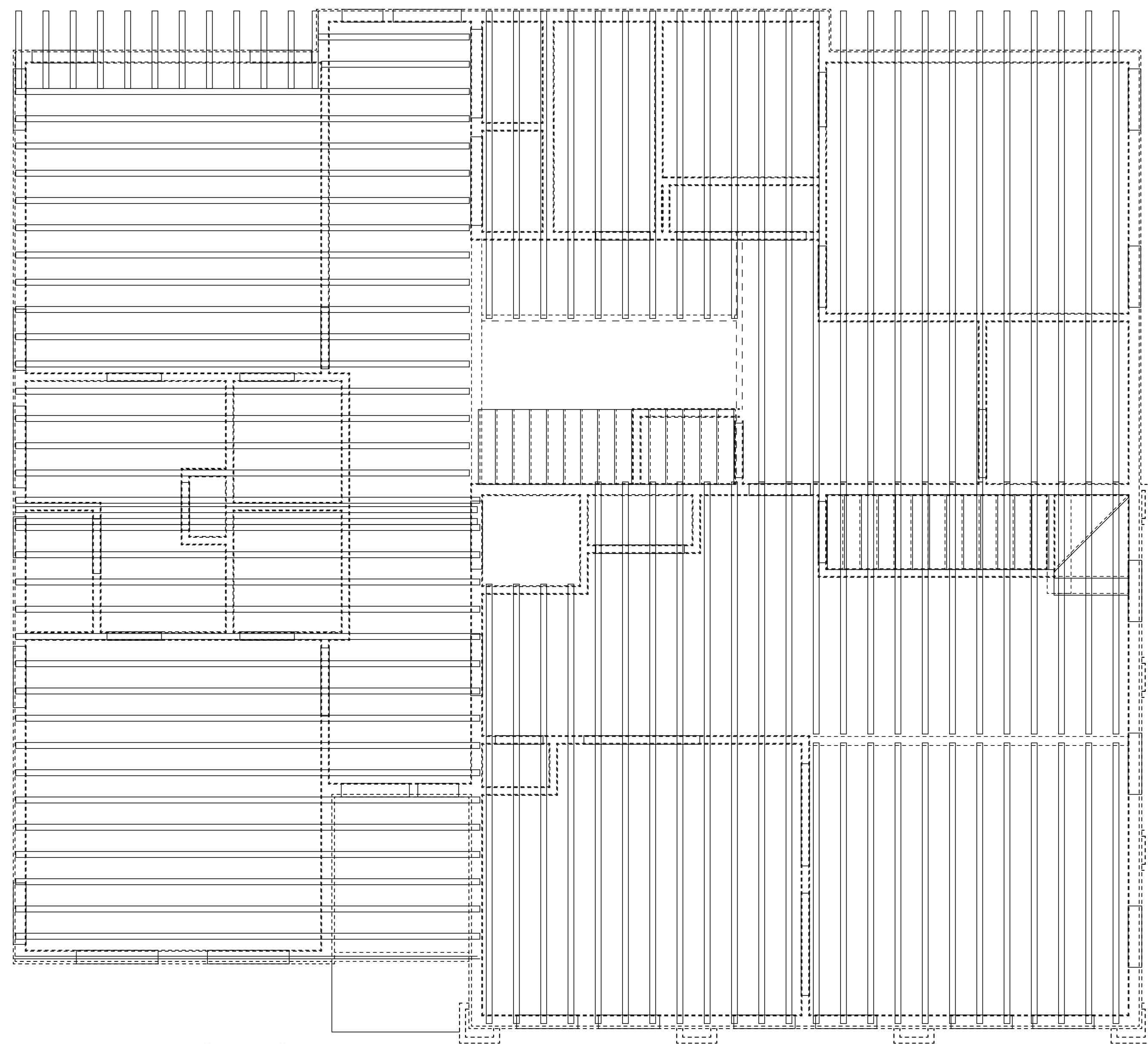
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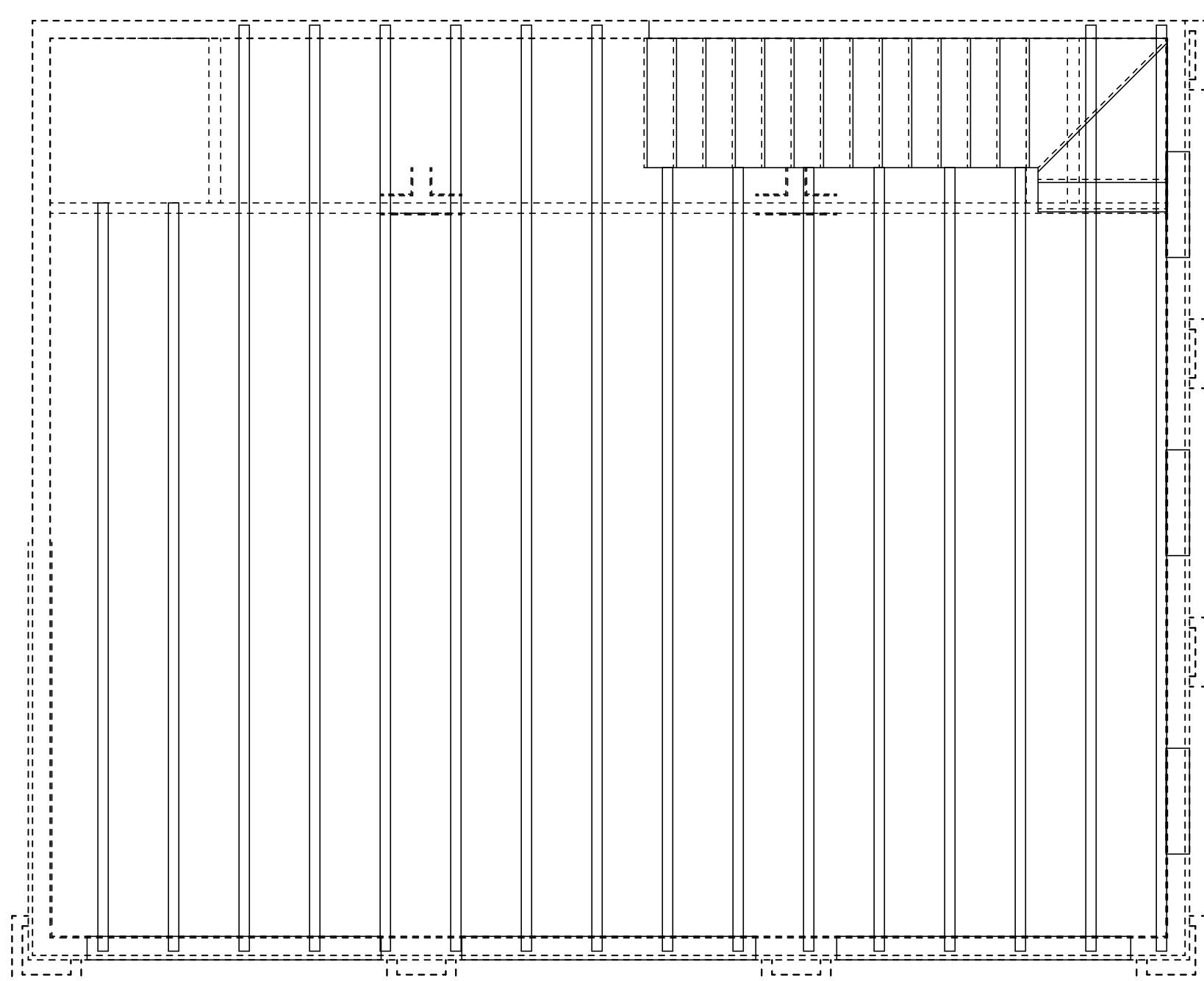
FRONT ELEVATION 1/4" = 1' ON 36" X 42" PAPER





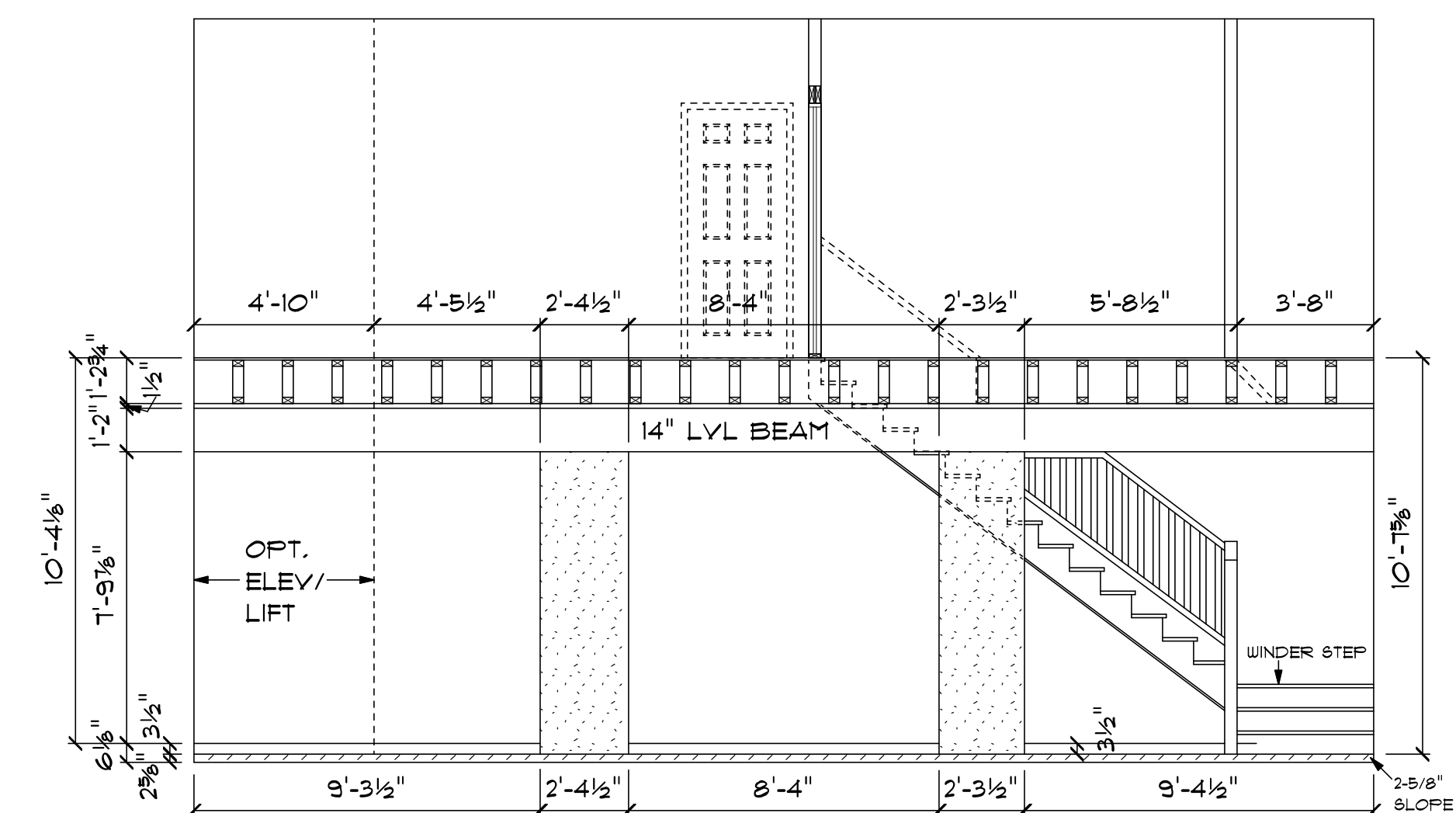
2ND FLOOR OF EL FLOOR JOISTS

NOTE:  
ALL FLOOR JOISTS 3-1/2" X 14" DEEP  
@ 16" O.C. UNLESS NOTED OTHERWISE



GAMEROOM FLOOR JOISTS

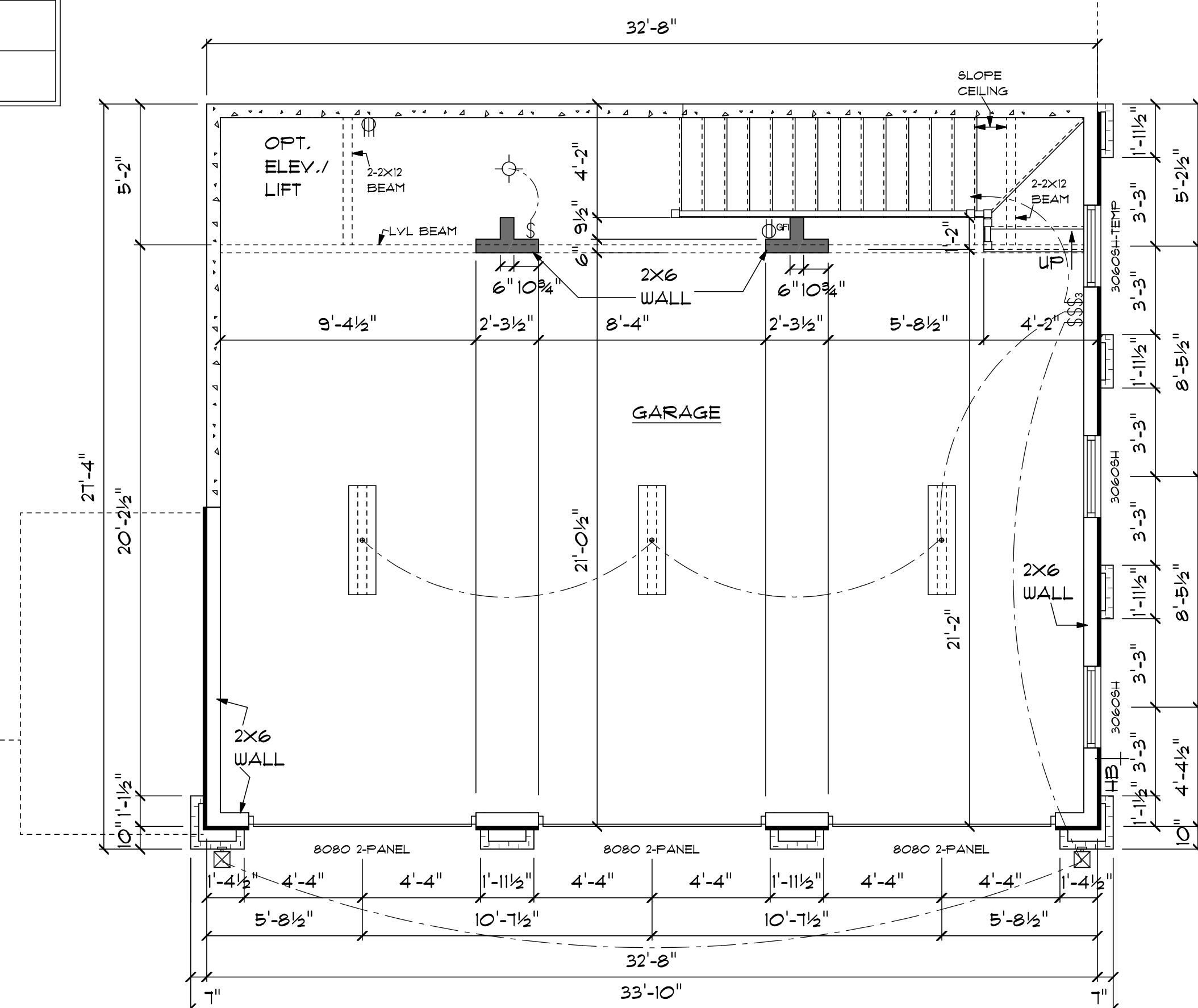
NOTE:  
ALL FLOOR JOIST 3-1/2" X 16" DEEP  
@ 16" O.C. UNLESS NOTED OTHERWISE



SECTION GARAGE OPT. LIFT

ELECTRICAL	COUNT	SYMBOL
Carriage Light 2	2	☒
Ceiling Globe	2	⊙
Flourescent 2 Bulb	3	⋯
Outlet 220	1	⊕
Outlet GFI	1	⊕GFI
Switch	3	Ⓢ
Switch 3 Way	1	Ⓢ3

PRODUCT CODE	SIZE	COUNT
306084-TEMP	3'-0" x 6'-0"	1
306084	3'-0" x 6'-0"	2



GARAGE wOPTION ELEVATOR 1/4" = 1' ON 24" X 36 PAPER

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRNT & RT, M/B, ROUGH 3D
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- 8-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- 8-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C, JOISTS, CHECK

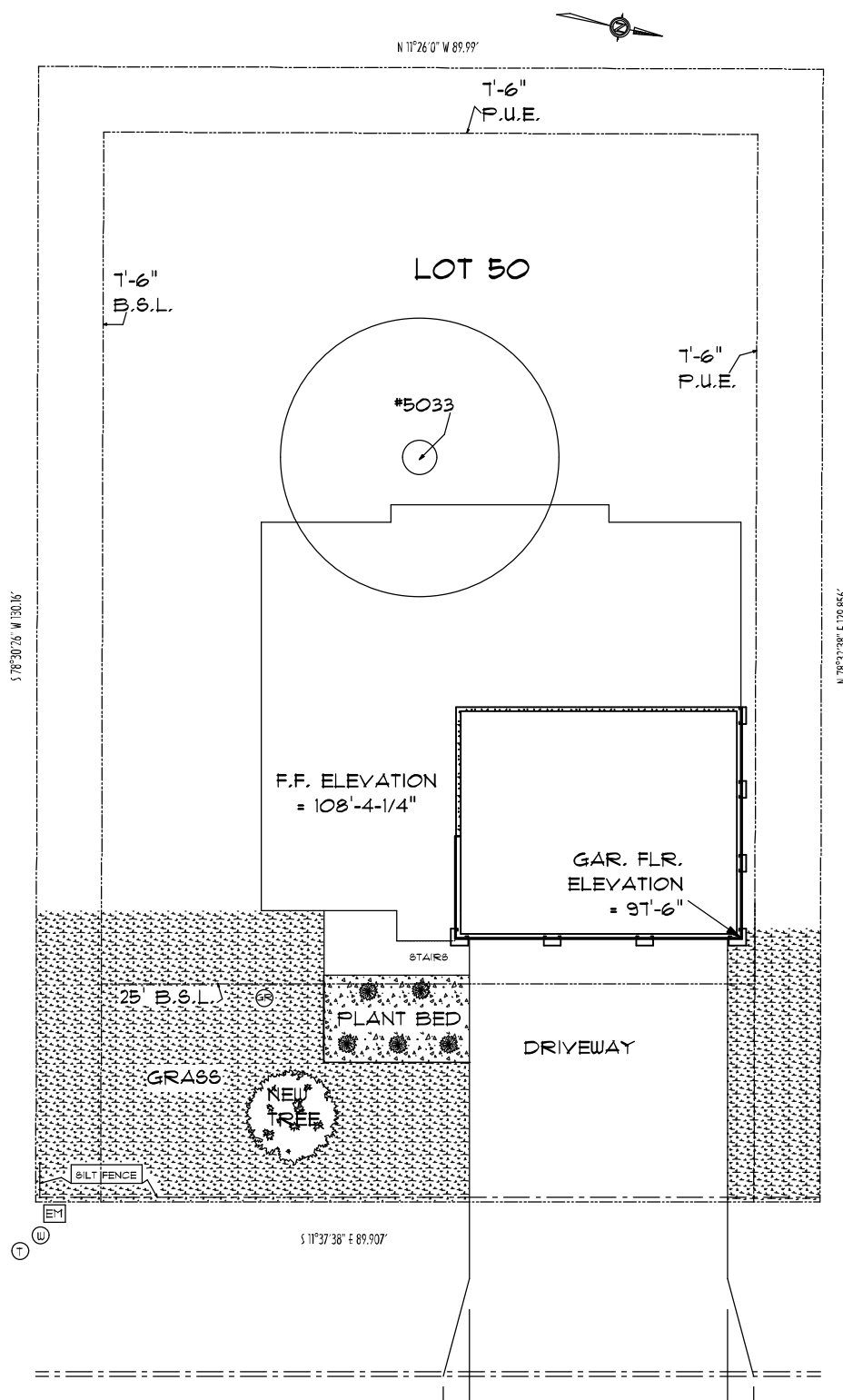
Preferred Home Design  
6318 Stable Brook Dr. San Antonio, TX 78249  
Ph: 210-204-0549  
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FRT PORCH	79
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PLAN: 3503 CONSTITUTION  
CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
DATE: August 24, 2020  
LOT: 50 SECT: 1  
SUBDIVISION: POINT VENTURE  
ADDRESS: 18402 LAKELAND DRIVE LAGO VISTA, TX 78645

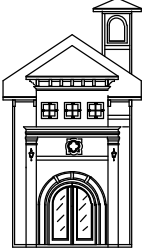
TREE TABLE				
TAG #	TYPE	DIAM.	C.R.Z.	NOTES
5033	LIVE OAK	16"	32'	

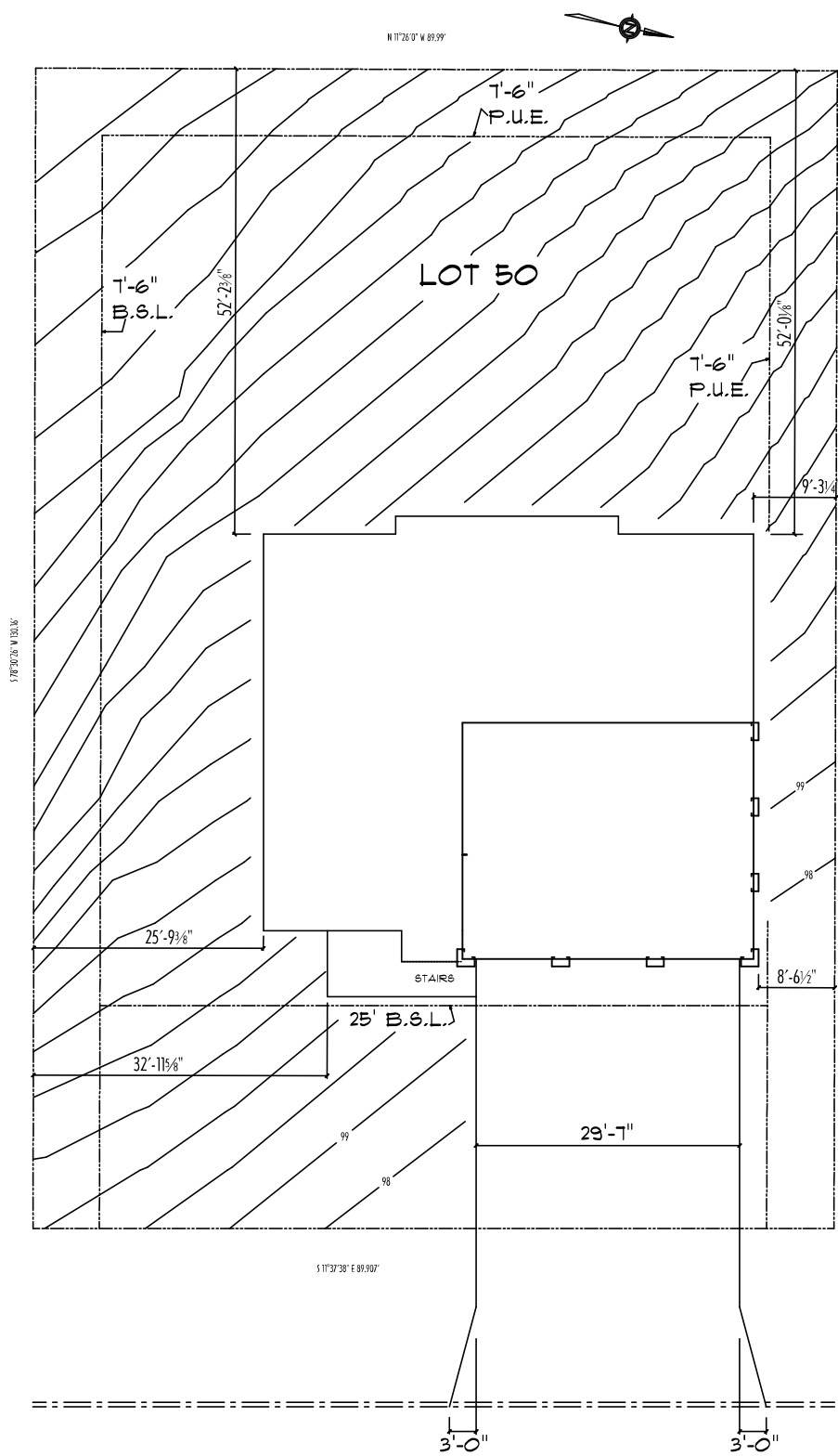


- Ⓜ A/C UNIT
- Ⓜ ELECT. TRANS.
- Ⓜ ELECT. METER
- Ⓜ GAS METER
- Ⓜ WATER METER
- Ⓜ TEL. PED.
- Ⓜ C.A.T.V. PED.
- Ⓜ MANHOLE
- Ⓜ GRINDER PUMP
- Ⓜ UTILITY POLE
- Ⓜ FIRE HYDRANT

## 18402 LAKELAND DRIVE LANDSCAPE


**FLATWORK: 1,612 SQ. FT.**  
**IMPERVIOUS COVER: 3,621 SQ. FT.**  
**LOT SIZE: 0.268 ACRES**  
**NET LOT AREA: 8,073 SQ. FT.**

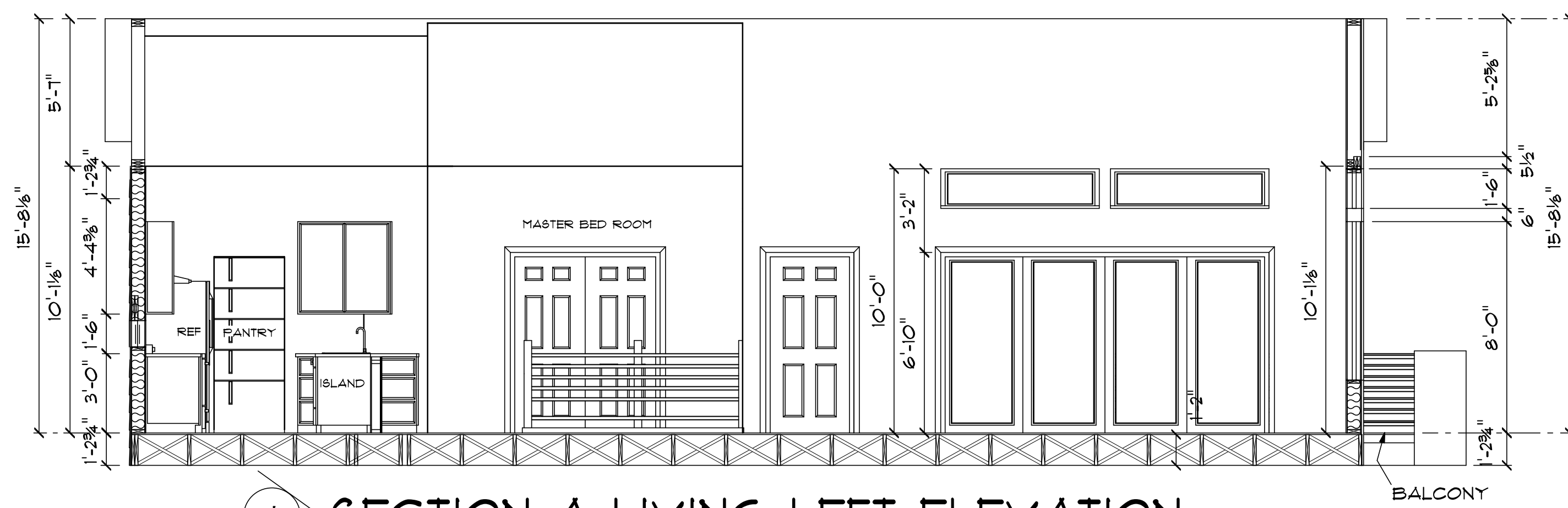
CUSTOMER NAME: 9DESIGN	SCALE: 1" = 20'-0" ON 11"X17" PAPER	PLAN #	LOT: 50
ADDRESS: 18402 LAKELAND DRIVE	CITY OF LAGO VISTA	DATE June 09, 2021	BLOCK: 48 SECT: 1
SUBDIVISION: POINT VENTURE	COUNTY OF TRAVIS	 <p style="text-align: center;"><b>Preferred Home Design</b></p> <p>6318 Stable Brook Dr. San Antonio, Tx. 78249 Ph: 210-204-0549 Email: phdmail@att.net</p>	
<p>BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, &amp; BUILDING LINES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS PLOT PLAN IS COMPLETE AND PROPOSED CONSTRUCTION DOES NOT CROSS ANY PROPOERTY LINE, DOES NOT EXTEND ONTO OR CROSS EASEMENTS WITHOUT PROPER WRITTEN PERMISSION. DOES NOT VIOLATE BUILDING LINE RESTRICTIONS</p>			



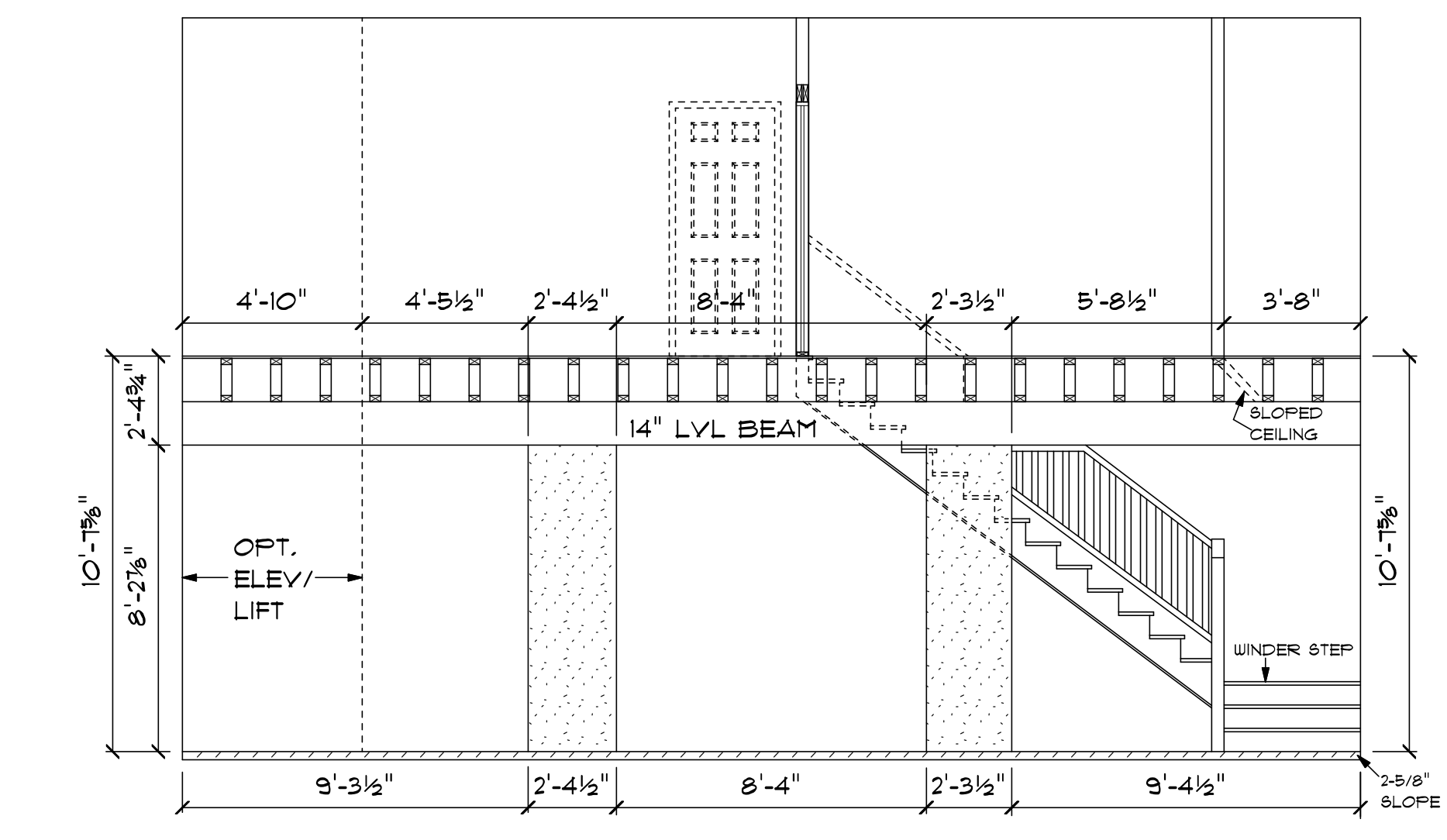
**18402 LAKELAND DRIVE**

FLATWORK: 1,612 SQ. FT.  
 IMPERVIOUS COVER: 3,621 SQ. FT.  
 LOT SIZE: 0.268 ACRES  
 NET LOT AREA: 8,073 SQ. FT.

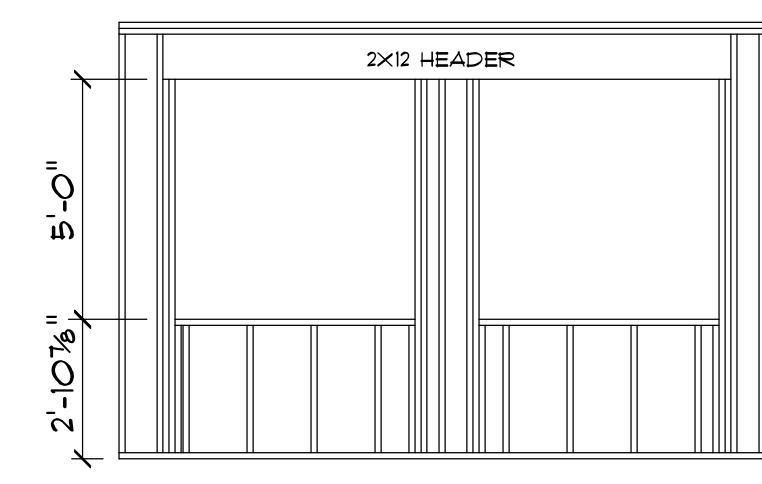
CUSTOMER NAME: 9DESIGN	SCALE: 1" = 20'-0" ON 11"X17" PAPER	PLAN #	LOT: 50
ADDRESS: 18402 LAKELAND DRIVE	CITY OF LAGO VISTA	DATE November 19, 2020	BLOCK: 48 SECT: 1
SUBDIVISION: POINT VENTURE	COUNTY OF TRAVIS	 <p><b>Preferred Home Design</b>          6318 Stable Brook Dr.          San Antonio, Tx. 78249          Ph: 210-204-0549          Email: phdmail@att.net</p>	
<p>BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, &amp; BUILDING LINES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS PLOT PLAN IS COMPLETE AND PROPOSED CONSTRUCTION DOES NOT CROSS ANY PROPOERTY LINE, DOES NOT EXTEND ONTO OR CROSS EASEMENTS WITHOUT PROPER WRITTEN PERMISSION. DOES NOT VIOLATE BUILDING LINE RESTRICTIONS</p>			



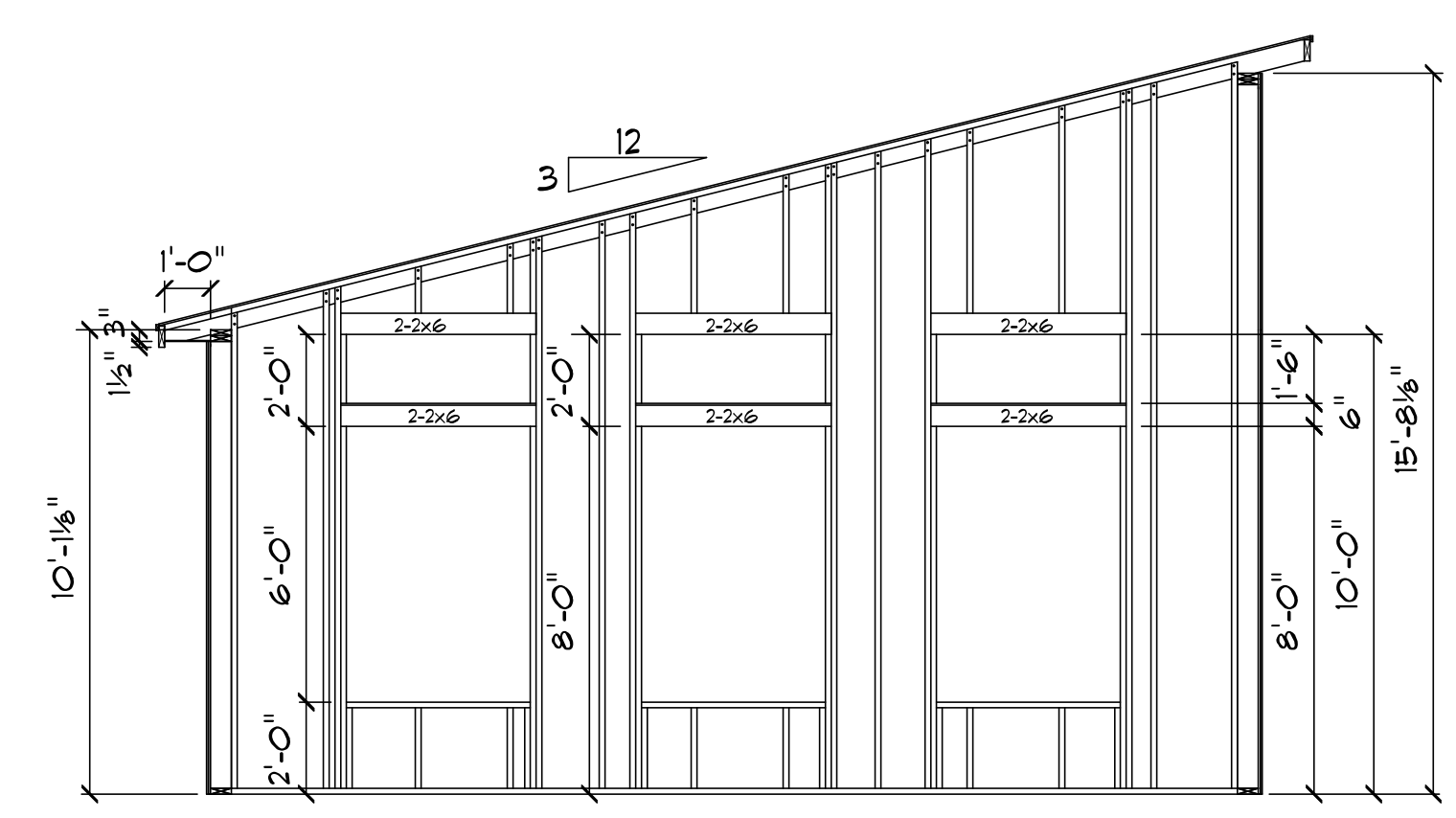
SECTION A LIVING LEFT ELEVATION



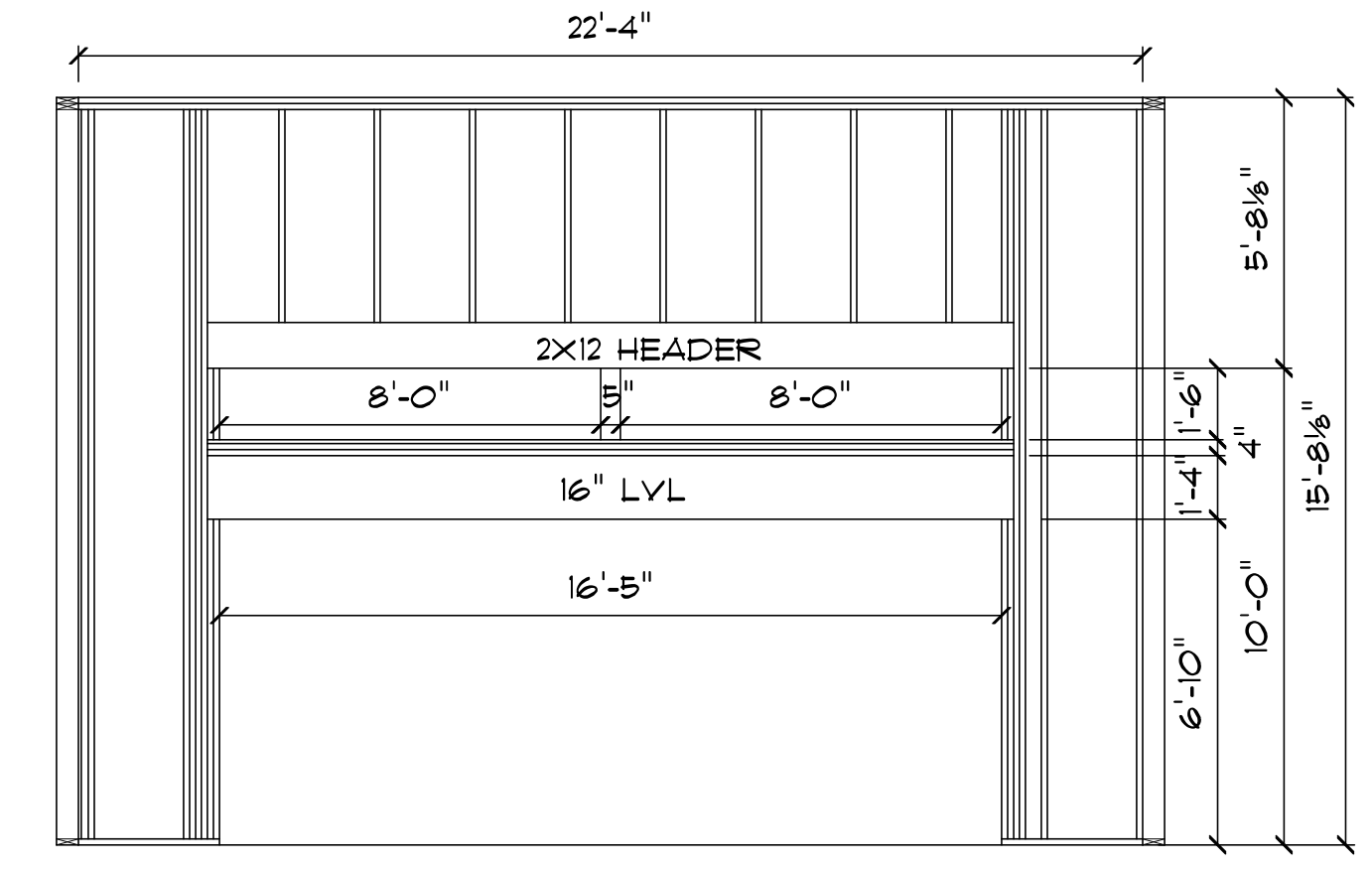
SECTION GARAGE OPT. ELEV. STAIRS RIGHT



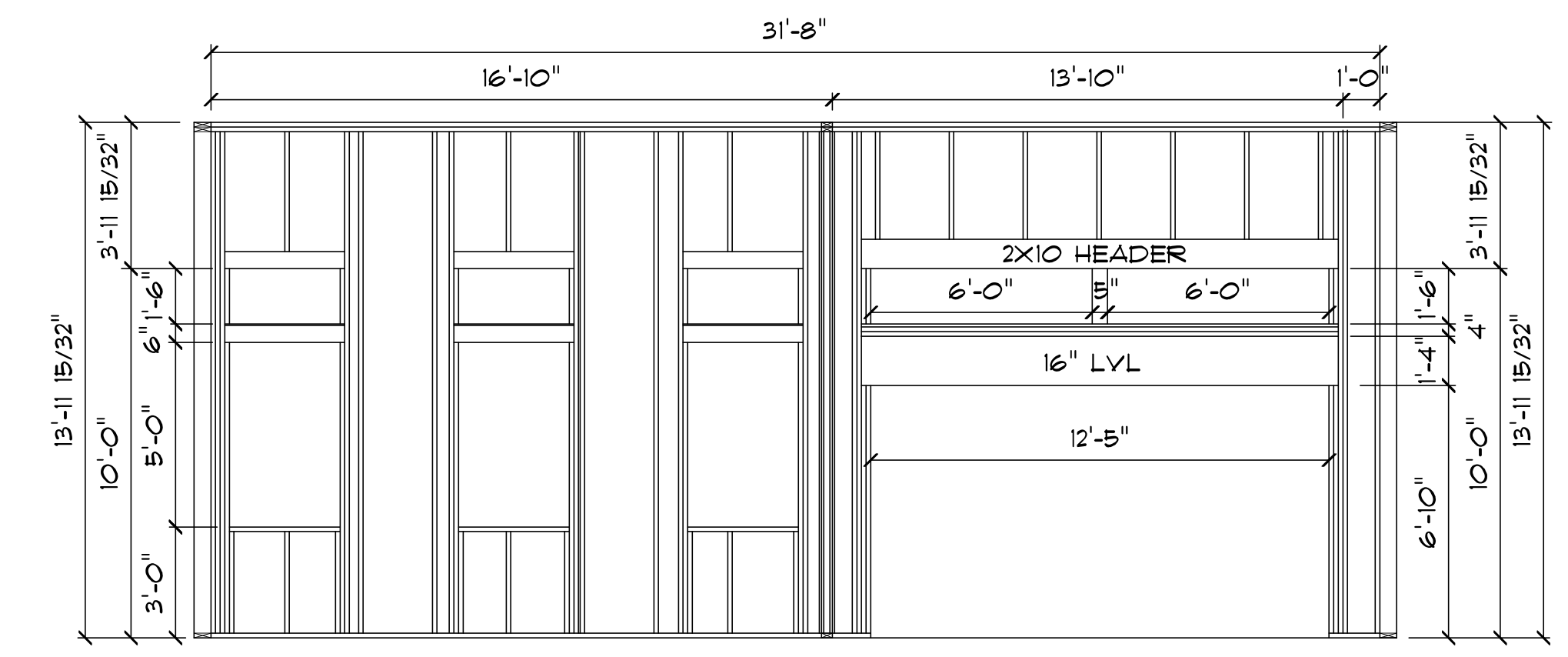
SEC. G/R OFFICE



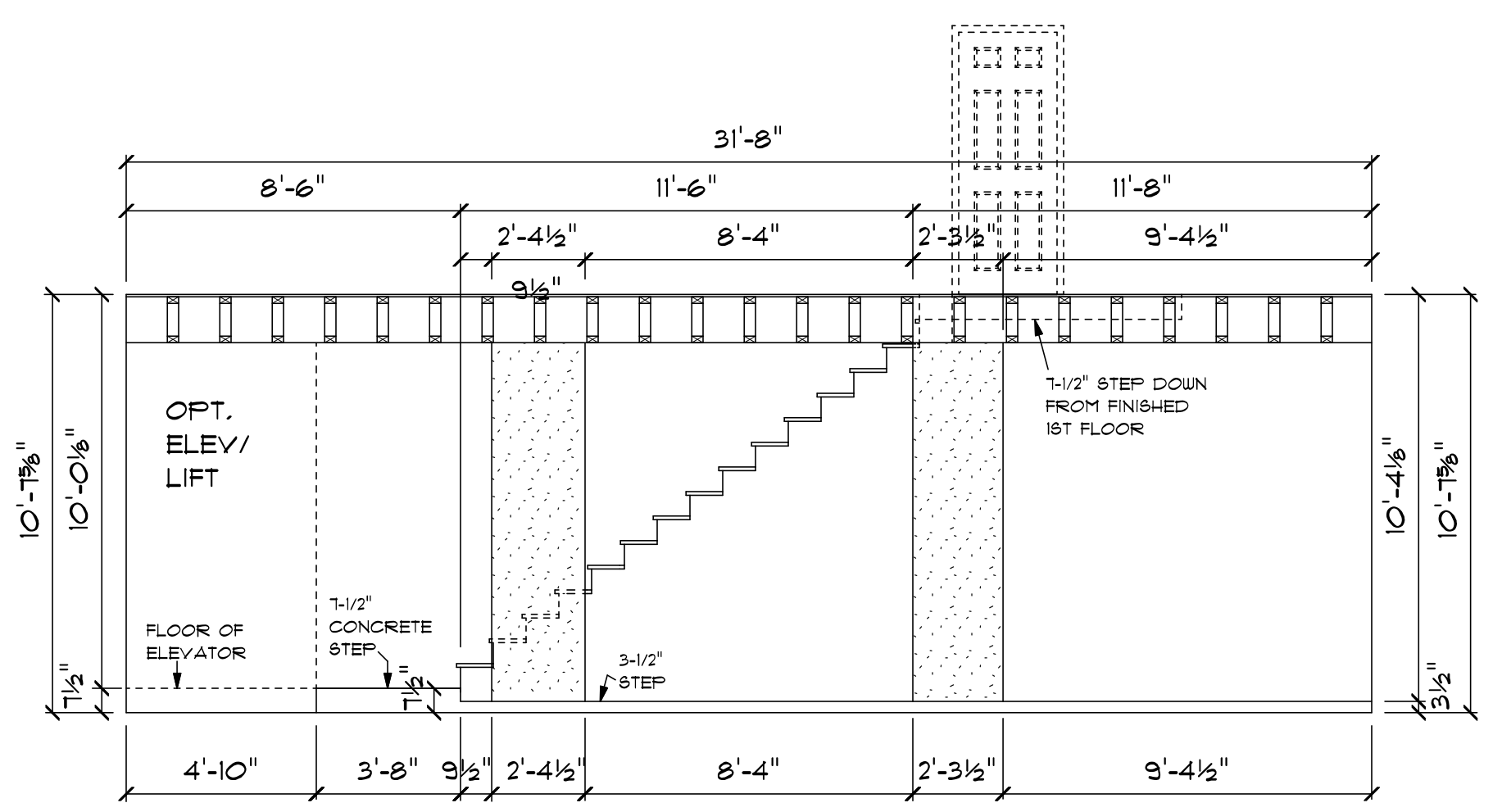
SECTION LIV. RM. FRONT ELEV.



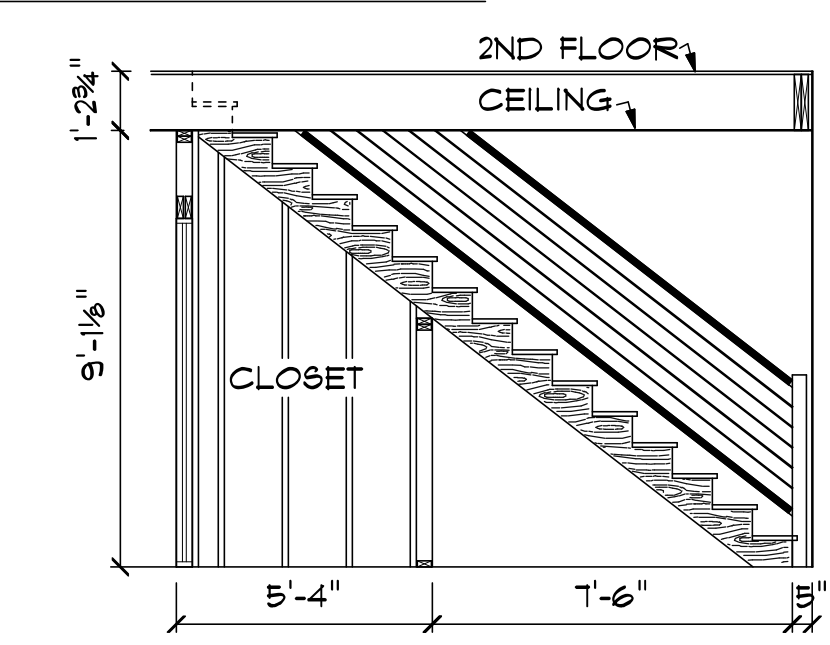
SECTION LIV. RM. RIGHT ELEV.



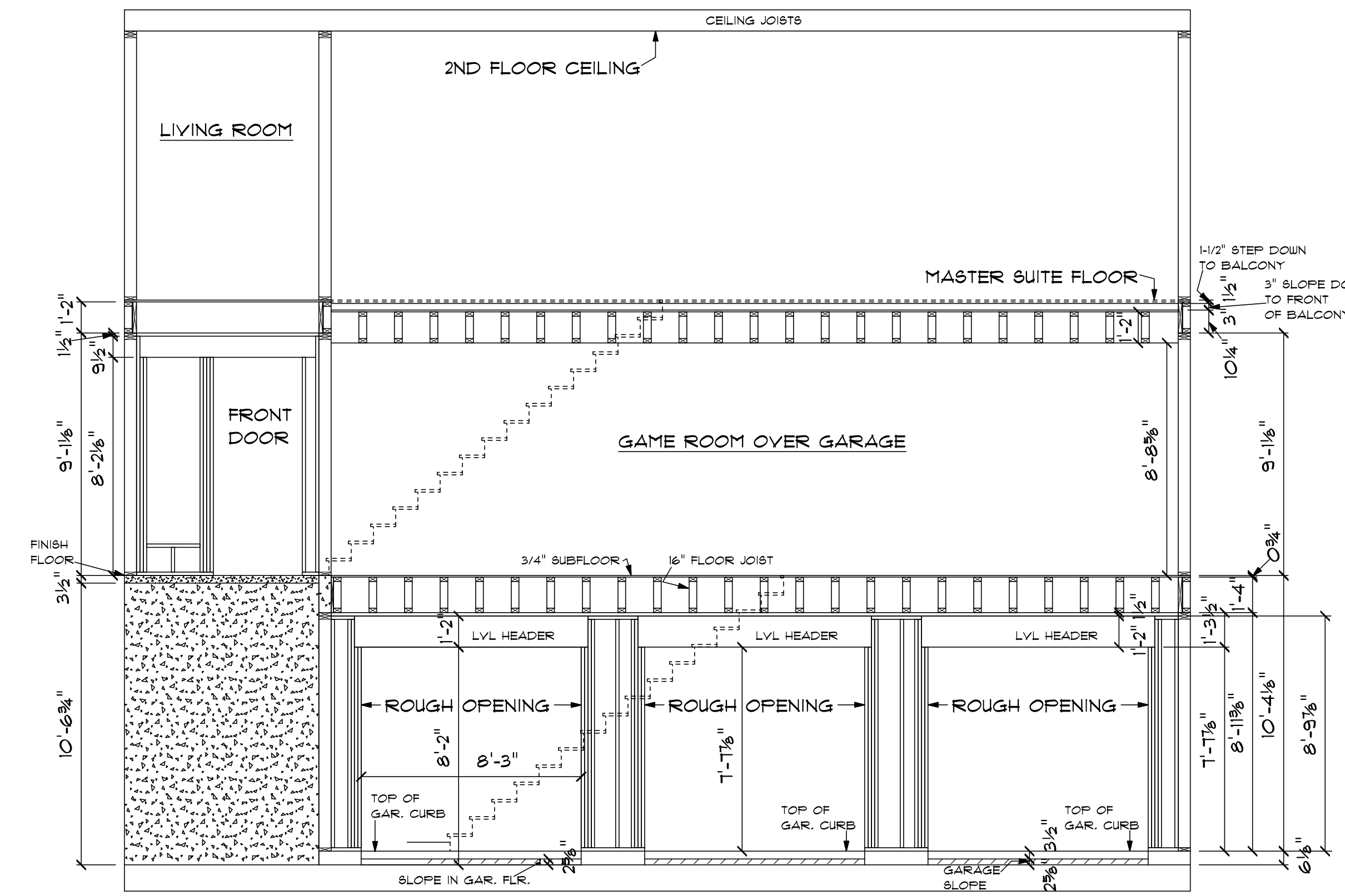
SECTION MASTER BED FRONT ELEVATION



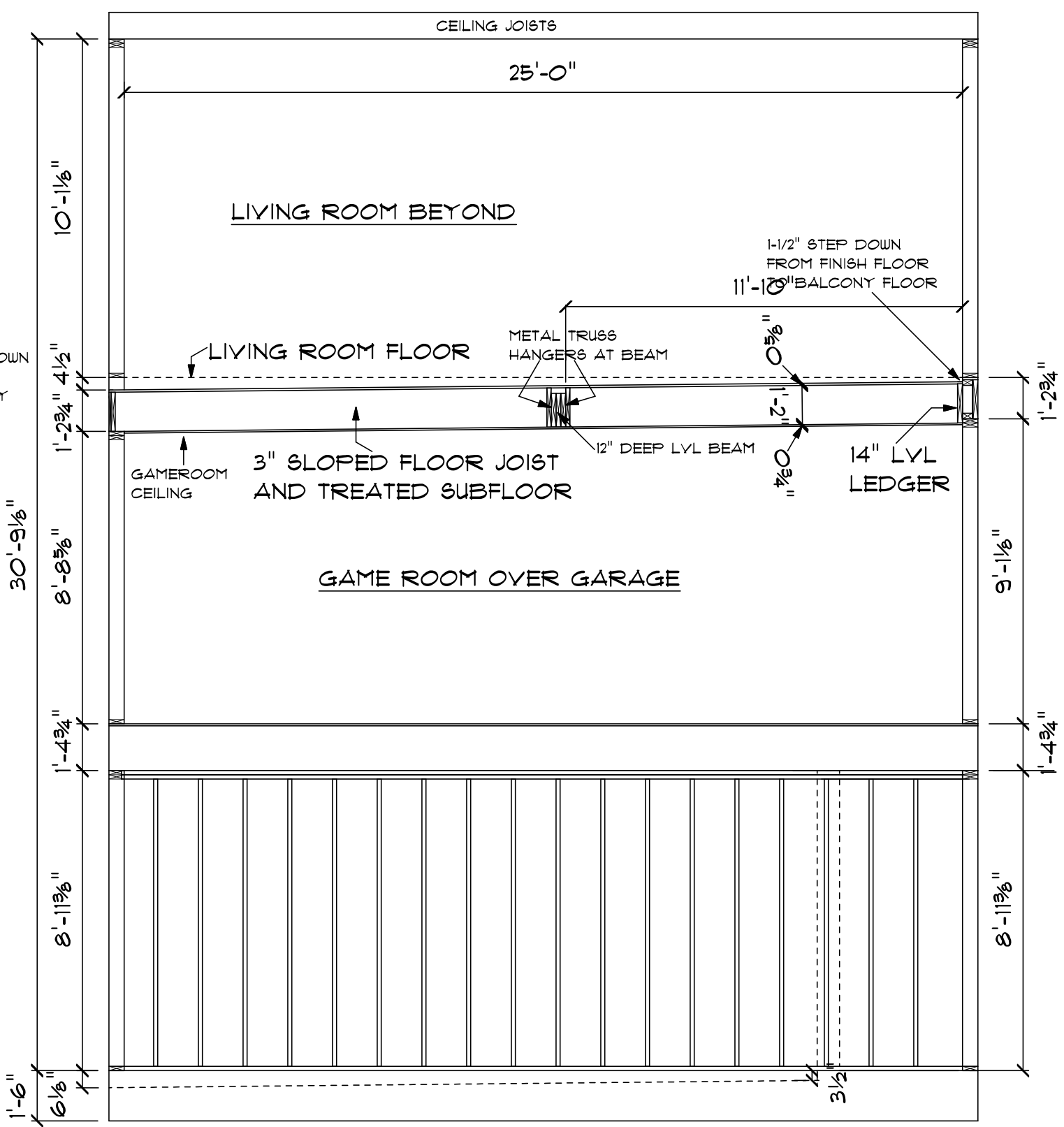
GARAGE STAIRS LEFT OPT.



INTERIOR STAIRS FROM HALL



GARAGE FRAME FRONT LEFT STAIRS OPT.



GARAGE FRAME RIGHT VIEW

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRNT & RT, M/B, ROUGH 3D's
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- 8-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- 8-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C. JOISTS, CHECK

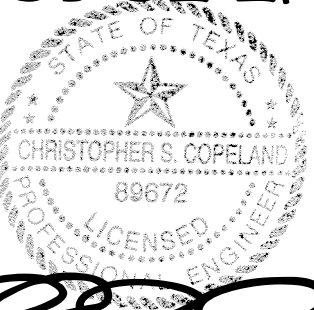

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**SQUARE FOOTAGES:**

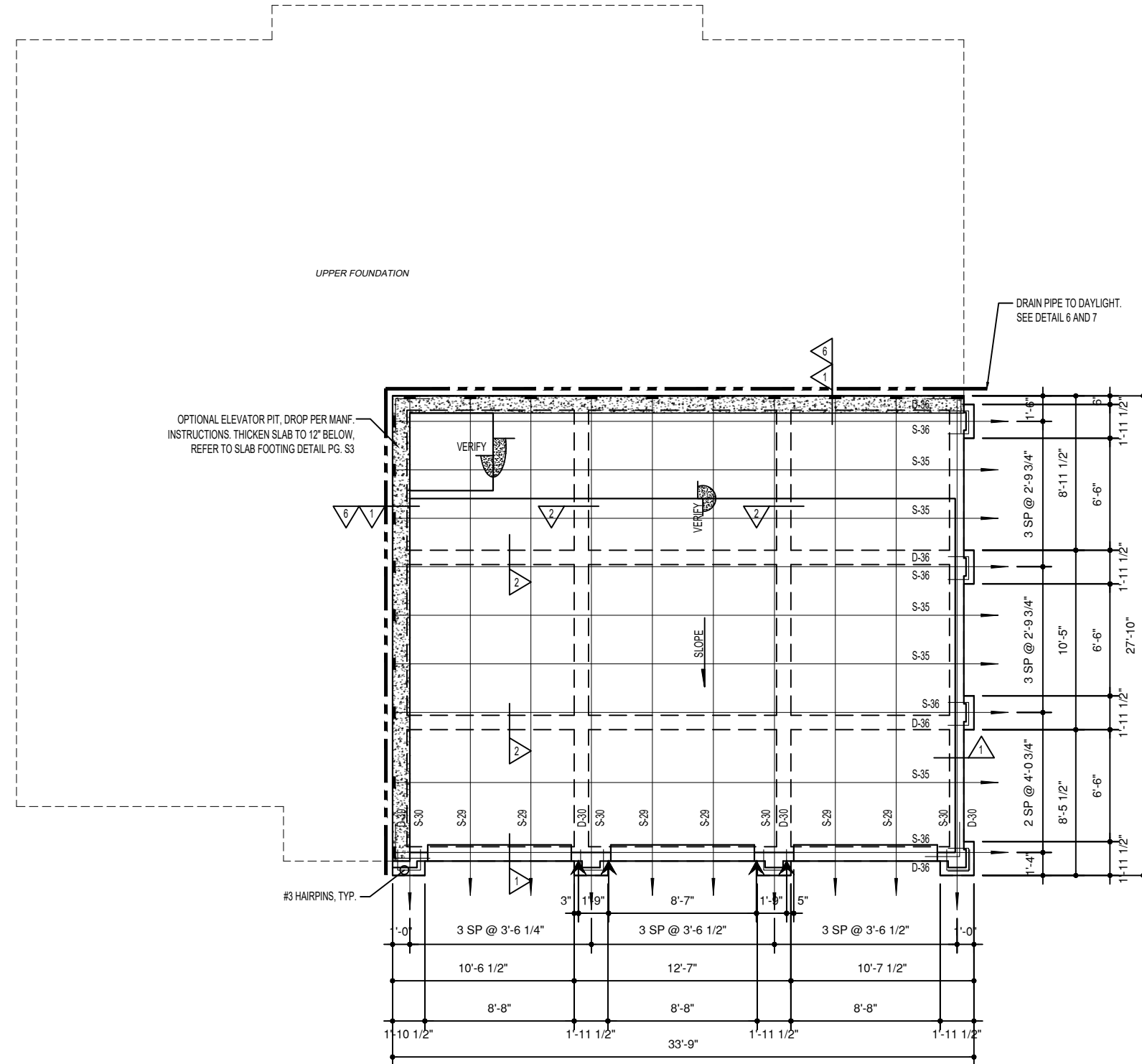
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GAMEROOM	802
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TOTAL LIVING	4215
FRNT PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION  
 CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
 DATE: August 24, 2020  
 LOT: 50 SECT: 1  
 SUBDIVISION: POINT VENTURE  
 ADDRESS: 18402 LAKELAND DRIVE  
 LAGO VISTA, TX. 78645

03.02.21



*[Handwritten Signature]*



OPTIONAL ELEVATOR PIT, DROP PER MANF. INSTRUCTIONS. THICKEN SLAB TO 12" BELOW. REFER TO SLAB FOOTING DETAIL PG. S3

DRAIN PIPE TO DAYLIGHT. SEE DETAIL 6 AND 7

UPPER FOUNDATION

#3 HAIRPINS, TYP.

BUILDER TO VERIFY ALL SLAB DROPS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONCRETE PLACEMENT. THE ARCHITECTURAL PLANS ARE THE CONTROL SET TO USE.

▲ STHD14 WET-SET STRAP

SLAB THICKNESS	= 4 in
BEAM CABLES	= 1
BEAM WIDTH	= 12 in
BEAM DEPTH	= 24 in
MIN PENETRATION	= 12 in

**ESTIMATES**

Square Footage (ft <sup>2</sup> ):	906
Concrete Volume (yd <sup>3</sup> ):	28
Cable (ft):	776
No. of Beam Cables:	8
No. of Slab Cables:	16

LOT: BLOCK: SECTION: PHASE: BY: ALE

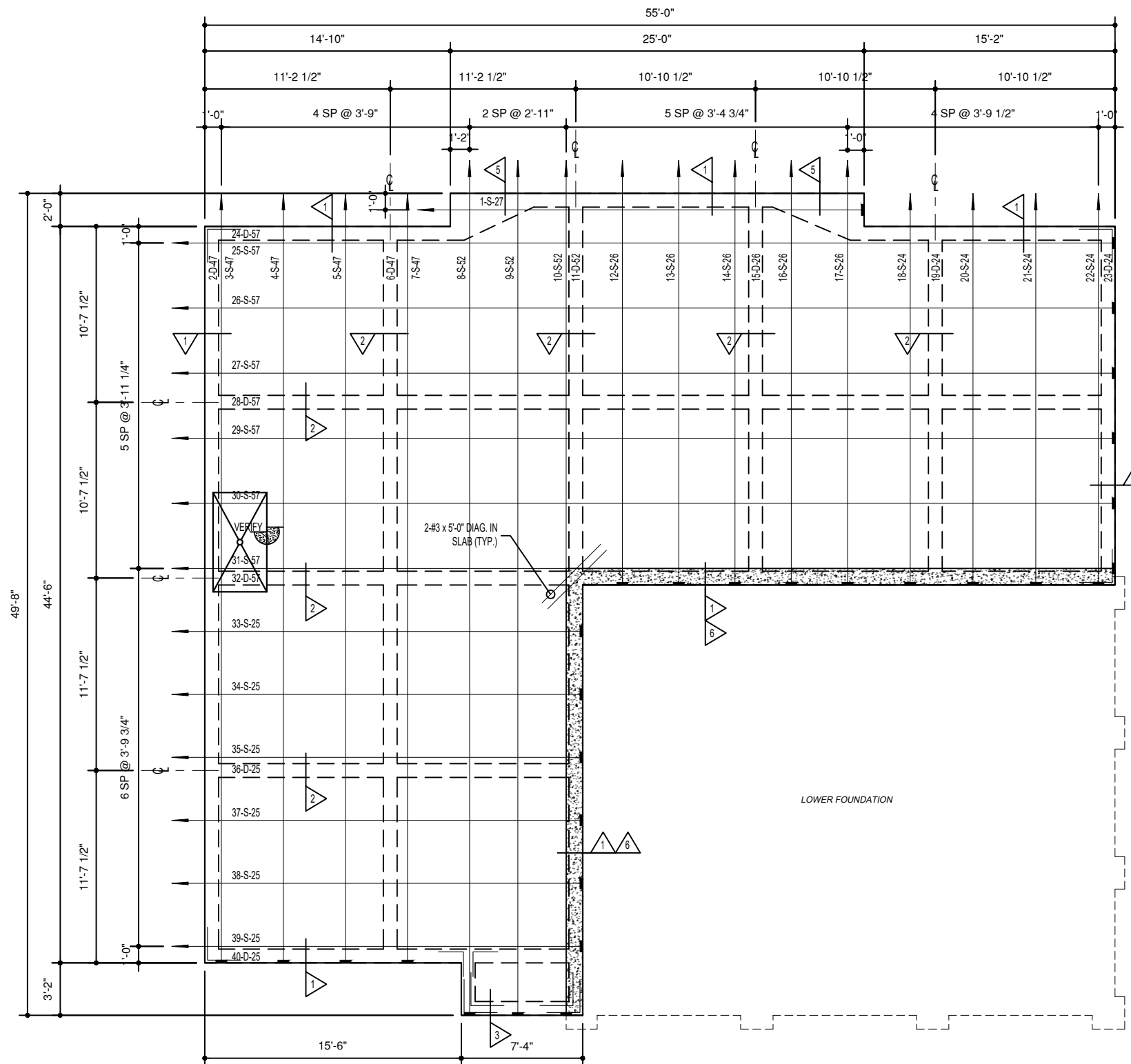
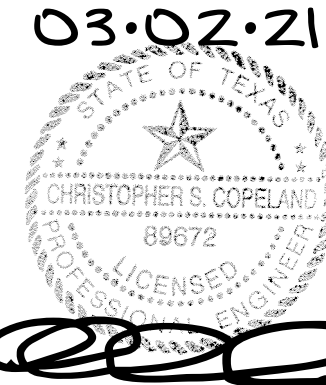
18402 LAKELAND DRIVE LAGO VISTA POINT VENTURE

2-26-21 9 DESIGN CUSTOM BUILDERS

INSPECTION: 512.850.5069 DESIGN: 512.800.9200 Texas Firm # F-17724

**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 160A CEDAR PARK, TX 78613

UPPER FOUNDATION PLAN  
1/8" = 1'-0"



ELONGATION TABLE (IN)		
LENGTH (FT)	ELONGATION +3-1/2"	ELONGATION +12"
24	5.17	13.67
25	5.25	13.75
26	5.32	13.82
27	5.40	13.90
47	6.92	15.42
52	7.30	15.80
57	7.68	16.18

▲ STHD14 WET-SET STRAP  
 SLAB THICKNESS = 4 in  
 BEAM CABLES = 1  
 BEAM WIDTH = 12 in  
 BEAM DEPTH = 24 in  
 MIN PENETRATION = 12 in

ESTIMATES	
Square Footage (ft <sup>2</sup> ):	1786
Concrete Volume (yd <sup>3</sup> ):	52
Cable (ft):	1530
No. of Beam Cables:	11
No. of Slab Cables:	29

BUILDER TO VERIFY ALL SLAB DROPS AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONCRETE PLACEMENT. THE ARCHITECTURAL PLANS ARE THE CONTROL SET TO USE.

LOT: 18402 LAKELAND DRIVE  
 SECTION: LAGO VISTA  
 PHASE: POINT VENTURE  
 BLOCK: 9  
 BY: ALE  
 CE: 22101559  
 2-26-21  
 DESIGN CUSTOM BUILDERS



**GENERAL**

- ENGINEER'S INSPECTION REQUIRED FOR:
  - CONCRETE PRE-POUR SETUP
  - FINAL STRESSING OF TENDONS
- IF IT HAS RAINED, OR CONCRETE HAS NOT BEEN PLACED WITHIN 48 HOURS OF A PASSED PRE-POUR INSPECTION, A RAIN RE-INSPECTION IS RECOMMENDED TO ENSURE FOUNDATION STILL MEETS THE REQUIREMENTS AS SET FORTH BY COPELAND ENGINEERING.
- CONCRETE QUANTITY ASSUMES LEVEL SITE CONDITIONS AND MUST BE ADJUSTED FOR SLOPING SITE AND FORMING IRREGULARITIES. CONCRETE QUANTITIES ARE NOT EXACT. THESE ESTIMATES DO NOT ACCOUNT FOR BARRIER BEAMS, DEEP BEAMS, AND/OR DROPS IN SLAB. THESE ESTIMATES ARE INTENDED FOR PLAN TO PLAN COMPARISONS FOR ESTIMATING PURPOSES UNDER IDEAL CONDITIONS. TENDON LENGTHS AND COUNT AND CONCRETE QUANTITY ESTIMATE ON PLAN ARE FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHOULD VERIFY ALL TENDON LENGTHS AND CONCRETE QUANTITY PRIOR TO INSTALLATION.
- DRAPED (BEAM) TENDONS ARE NOT SHOWN ON THE PLANS BUT ARE LABELED AS A "D" FOR DRAPED TENDON.
- SCOPE OF SERVICES PROVIDED BY COPELAND ENGINEERING ARE LIMITED TO THE FOLLOWING:
  - STRUCTURAL REINFORCEMENT
  - BEAM DEPTH AND WIDTH
  - BEAM LOCATIONS
  - EXTERIOR BEAM PENETRATION
- THE FORMS SHOULD BE BUILT USING THE ARCHITECTURAL PLANS--NOT THE ENGINEERING PLAN. DO NOT SCALE PLAN.** ARCHITECTURAL DIMENSIONS MUST BE COMPARED TO THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION OF FORMS. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THIS DESIGN IS IN COMPLIANCE WITH PTI DESIGN OF POST-TENSIONED SLABS-ON-GROUND 3RD EDITION, THE LATEST EDITION OF THE IRC/IBC AND RECOGNIZED ENGINEERING PRACTICES.
- VERTICAL CONTROL JOINTS SHOULD BE USED IN EXTERIOR MASONRY TO THE FULL HEIGHT SPACED APPROXIMATELY 25 FEET APART. A JOINT SHOULD BE LOCATED DIRECTLY ABOVE CHANGES IN SUPPORT CONDITIONS FOR THE MASONRY AND AT EACH FOUNDATION CRACK CONTROL JOINT.
- THESE PLANS ARE COPYRIGHT COPELAND ENGINEERING, LLC AS OF THE YEAR DATED.

**REINFORCING**

- ALL REINFORCING BARS SHALL BE ASTM A-615 GRADE 60, EXCEPT GRADE 40 MAY BE USED FOR STIRRUPS, CORNER BARS AND HAIRPINS.
- ALL TENDONS SHALL BE 270K GRADE, 7 WIRE STRAND, 1/2 INCH DIAMETER, U.N.O., GREASED AND SHEATHED WITH A CONTINUOUS EXTRUDED PLASTIC SHEATHING.
- ANCHORAGE SYSTEM SHALL BE A MONOSTRAND UNBONDED TENDON UTILIZING A CAST WEDGE PLATE AND A TWO PIECE WEDGE AS MANUFACTURED BY A P.T.I. APPROVED MANUFACTURER.
- ALL POST-TENSIONED TENDONS AND ANCHORS SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST "P.T.I. GUIDE SPECIFICATIONS FOR POST-TENSIONING MATERIALS." POST-TENSIONED TENDON SUPPLIER TO BE P.T.I. FACTORY CERTIFIED.
- BEST PRACTICE IS TO PARTIAL STRESS ALL TENDONS TO 13.3 KIPS (OR HALF OF FINAL JACKING FORCE) 24 TO 48 HOURS AFTER CONCRETE PLACEMENT.
- BEST PRACTICE IS TO FULLY STRESS ALL TENDONS TO 33 KIPS 7 TO 10 DAYS AFTER CONCRETE PLACEMENT.
- THE FIRST TENDON IN THE SLAB SHALL BE A MAXIMUM OF 14 INCHES AND A MINIMUM OF 6 INCHES FROM THE OUTSIDE FORM. TENDONS NOT DIMENSIONED ON PLAN TO BE EQUALLY SPACED.

**SITE PREPARATION AND UNDERSLAB FILL**

- REFERENCE SOILS REPORT, AS REQUIRED, FOR SITE PREPARATION REQUIREMENTS.
- ALL UNDERSLAB "FORMING FILL" SHALL HAVE A P.I. LESS THAN 20 AND BE FREE OF ORGANICS.
- REFER TO NOTES CONCERNING "APPROVED" AND "UNAPPROVED" FILL.
- FOR SITE PREP THAT FALLS WITHIN THE 1/2 CRZ SEE THE TREE POLICY NOTES ON THIS PAGE AND NOTES ON THE FOUNDATION PLAN.
- IF SOLID, INTACT ROCK IS ENCOUNTERED PRIOR TO DESIGN DEPTH, BEAMS MAY BE SHALLOWED TO A MINIMUM OF 12 INCHES
- FINAL GRADING TO BE SLOPED AWAY FROM FOUNDATION 1 INCH PER FOOT FOR THE FIRST 5 FEET TO ALLOW DRAINAGE AWAY FROM FOUNDATION.
- ALL SITE OR SOIL MITIGATION TECHNIQUES REQUIRED BY GEOTECHNICAL ENGINEER TO BE FOLLOWED BY ALL RESPONSIBLE CONTRACTOR PARTIES.

**HARD POINTS**

- IF THE DEPTH OF UNDERSLAB CLEAN FILL AT ANY BEAM INTERSECTION (TOTAL DEPTH, NOT FROM BEAM BOTTOM), EXCEEDS 60 INCHES SANDY LOAM OR 84 INCHES ROAD BASE, PLACE HARD POINTS THROUGH THE FILL. USE 12 INCH DIAMETER PRE-FORMED OR DRILLED, CONCRETE PIERS BELOW REINFORCED BEAM INTERSECTIONS, U.N.O. HARDPOINTS TO BE REINFORCED W/ (4)-#4 VERT. & #3 TIES @ 24 INCHES O.C. IF TOTAL UNDERSLAB FILL EXCEEDS 12 FEET, CONTACT ENGINEER.

**CONCRETE**

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- CONCRETE SHOULD BE MINIMUM 2000 PSI AT FULL TENDON STRESSING.
- ALL CONCRETE WORK SHALL MEET A.C.I. 318 LATEST EDITION.
- COPELAND ENGINEERING ASSUMES NO RESPONSIBILITY FOR BRACING CONCRETE FORMS REQUIRED FOR FOUNDATION FORMING. FOUNDATION CONTRACTOR SHALL BE RESPONSIBLE.
- A LAPPED AND TAPED 6 MIL. POLY VAPOR RETARDER SHALL BE PLACED IN ACCORDANCE WITH THE CONSTRUCTION AND MAINTENANCE MANUAL FOR POST-TENSION SLAB-ON-GROUND FOUNDATIONS, 3RD EDITION.
- CONCRETE SHALL BE DEPOSITED IN FORMS NO LATER THAN TWO HOURS AFTER WATER IS MIXED AT THE PLANT. MAXIMUM SLUMP OF 6 INCHES.
- CONCRETE SHALL BE WELL CONSOLIDATED USING PROPER MECHANICAL VIBRATION, ESPECIALLY IN THE VICINITY OF THE TENDON ANCHORAGE.
- IF CONDUIT IN SLAB IS REQUIRED PRIOR TO CONCRETE PLACEMENT, LOCATION TO BE VERIFIED IN FIELD.
- PIPING, VENTS OR ELECTRICAL CABLES SHALL BE PLACED SO AS NOT TO REDUCE SLAB THICKNESS.
- PLUMBING/CONDUITS GREATER THAN 2 INCHES IN DIAMETER (Ø) TO BE TRENCHED INTO UNDERSLAB FILL. WHERE 2 INCHES < Ø < 1 1/2 INCHES, RECOMMENDED PLACEMENT DIRECTION IS AT 45° TO TENDONS. ALWAYS ENSURE A MINIMUM CONCRETE COVERAGE OF 1 INCH TOP, 1 1/2 INCHES BOTTOM PER PTI.
- IF UNANTICIPATED INTERRUPTIONS IN CONCRETE PLACEMENT OCCUR, AND CONCRETE HARDENS, TEMPORARY FORMS MUST BE USED FOR SETTING OF CONSTRUCTION JOINTS OR CONCRETE MUST BE CHIPPED TO FORM VERTICAL JOINTS PRIOR TO SETTING ADDITIONAL SLAB. USE #3 X 24 INCH DOWELS AT 12 INCHES O.C. EPOXIED INTO EXISTING CONCRETE TO BOND OLD TO NEW CONCRETE.

**CONCRETE COVERAGE**

- SLAB TENDONS:
  - 1 1/2 INCHES ABOVE SUB-GRADE IN 4 INCH THICK SLAB AND ANCHORS TO HAVE 4 INCHES VERTICAL COVERAGE FROM CENTER OF ANCHOR TO TOP OF CONCRETE.
    - SLAB TENDONS MAY BE MOVED 12 INCHES MAX. HORIZONTALLY TO ALLOW FOR PLUMBING BOX-OUTS.
    - BEAM TENDONS MAY BE MOVED 3 INCHES DOWNWARD AND/OR 2 INCHES UPWARD VERTICALLY FOR PLUMBING/CONDUIT PIPES IN BEAMS.
    - ALL "POCKET FORMERS" SHOULD BE FULLY GROUTED AFTER CUTTING TENDONS. THE GROUT POCKET SHOULD BE FREE OF VOIDS AND SHOULD FULLY COVER THE FORM AND BE FLUSH WITH THE SIDE OF THE SLAB COVERING THE CUT END OF THE TENDON. EXTRA CARE SHOULD BE TAKEN WHEN THE POCKET FORM IS SLIGHTLY BELOW GRADE.
  - ALL PVC PENETRATIONS TO BE OUTSIDE OF 45° ZONE OF PRESSURE FROM CABLE ANCHOR. REFER TO CONSTRUCTION AND MAINTENANCE MANUAL FOR POST TENSIONED SLAB-ON-GROUND FOUNDATIONS (FIG. 11.1)

- TENDON COVERAGE PER PTI:
  - BEAM TENDONS
    - TOP 2 INCHES
    - BOTTOM 3 INCHES
    - SIDES 3 INCHES
  - SLAB TENDONS
    - TOP 1 INCHES
    - BOTTOM 1 1/2 INCHES

**ADJACENT STRUCTURES**

- POOLS SHALL NOT BE PLACED NEARER THE HOUSE THAN DEEPEST POINT OF EXCAVATION WITHOUT PRIOR DESIGN CONSIDERATION BY A LICENSED PROFESSIONAL ENGINEER.
- FOUNDATION SHALL NOT BE CONSTRUCTED NEARER TO RETAINING WALL THAN THE FULL RETAINING WALL HEIGHT, e.g. 5 FEET AWAY FROM 5 FOOT TALL WALL.
- EXCAVATION NEAR RETAINING WALLS SHALL NOT EXPOSE RETAINING WALL BACKFILL. IF BACKFILL IS ENCOUNTERED DURING EXCAVATION STOP CONSTRUCTION AND NOTIFY COPELAND ENGINEERING FOR PIER SUSPENDED FOUNDATION RE-DESIGN.

**TREE POLICY**

- FORM BRACING SHALL NOT BE POSITIONED INSIDE 1/2 CRITICAL ROOT ZONE (CRZ). BRACING LONGER THAN 10 FEET SHALL BE BRACED WITH STRONGBAR AND #5 REBAR PLACED VERTICALLY AT 5 FOOT INTERVALS ALONG BRACE. NO MECHANICAL EQUIPMENT SHALL BE WITHIN 1/2 CRZ. TRENCHING SHALL BE WITH AIR SPADE ONLY. SELECTIVE CANOPY REDUCTIONS, TREE PROTECTION FENCING, AND 8 INCHES OF HARDWOOD MULCH REQUIRED.

**TREE POLICY P.I. GREATER THAN 40 - OUTSIDE AUSTIN JURISDICTION**

- TREE WITHIN 5 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 20'-0" OF SECTION 3 STEEL - CENTER ON TREE IN EXTERIOR BEAM ONLY, OR
  - DEEPEN BEAM 24 INCHES INTO EXISTING SOIL FOR 20'-0" - EXTERIOR BEAM ONLY.
- TREE LOCATED BETWEEN 5 FEET AND 15 FEET OF EXTERIOR GRADE BEAM:
  - ADD 10'-0" OF SECTION 3 STEEL - CENTER ON TREE IN EXTERIOR BEAM ONLY, OR
  - DEEPEN BEAM 12 INCHES INTO EXISTING SOIL FOR 20'-0" - EXTERIOR BEAM ONLY.

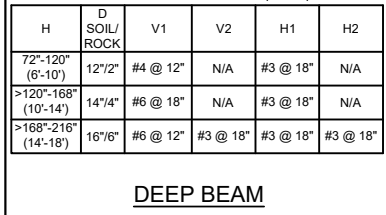
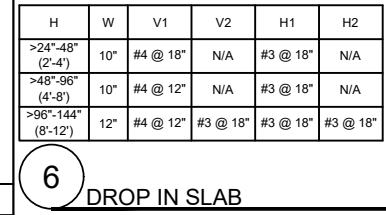
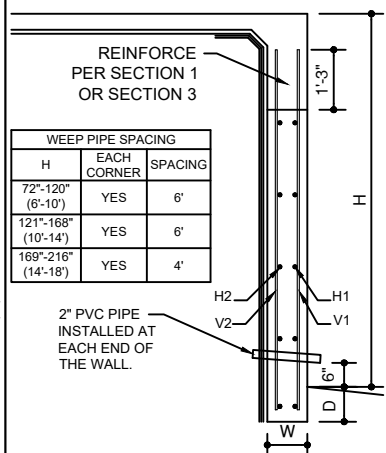
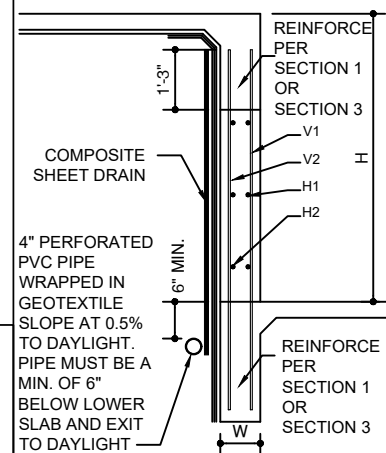
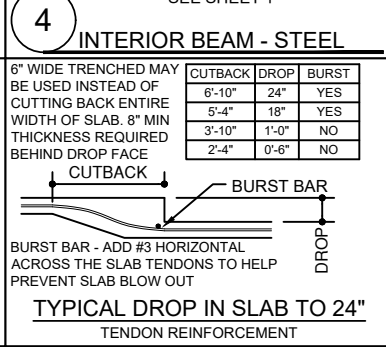
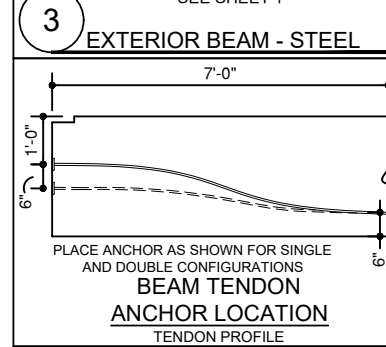
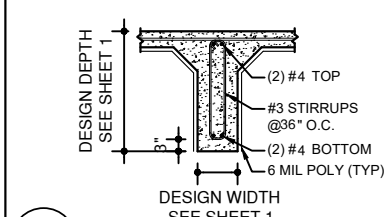
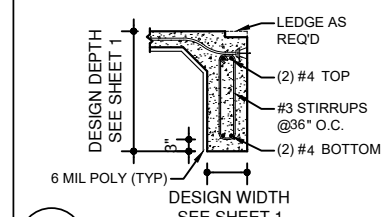
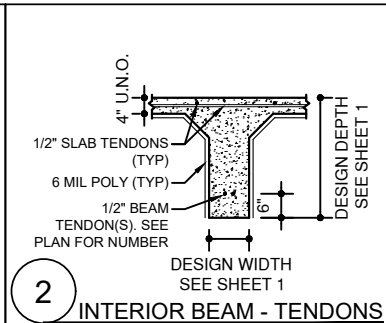
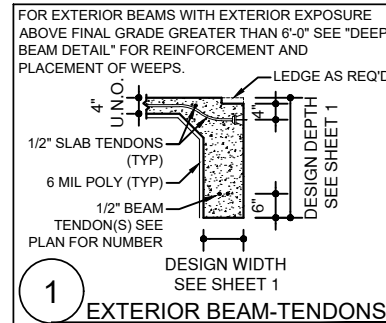
**APPLICATION OF THE TREE POLICY AFTER THE CONCRETE HAS BEEN PLACED**

- TREE LOCATED WITHIN 5 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 6 INCH WIDE TRENCH 24 INCHES INTO EXISTING GRADE FOR 20'-0" LONG CENTERED ON TREE AND FILLED WITH UN-REINFORCED CONCRETE.
- TREE LOCATED BETWEEN 5 FEET AND 15 FEET OF THE EXTERIOR GRADE BEAM:
  - ADD 6 INCH WIDE TRENCH 24 INCHES INTO EXISTING GRADE FOR 20'-0" LONG CENTERED ON TREE AND FILLED WITH UN-REINFORCED CONCRETE.

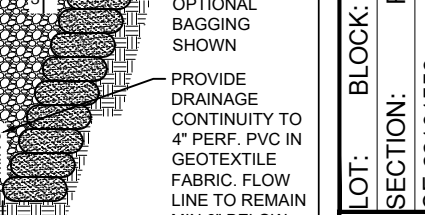
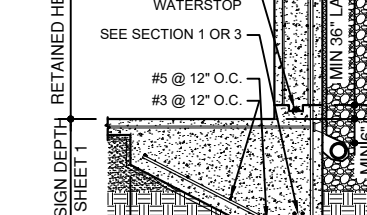
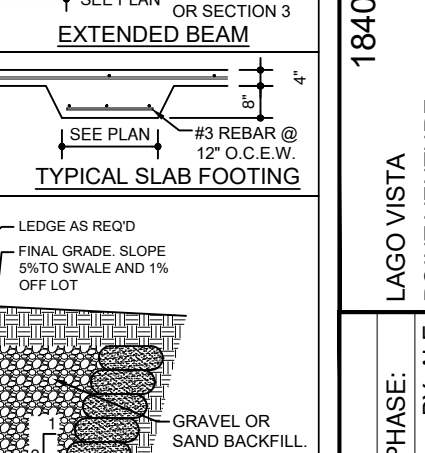
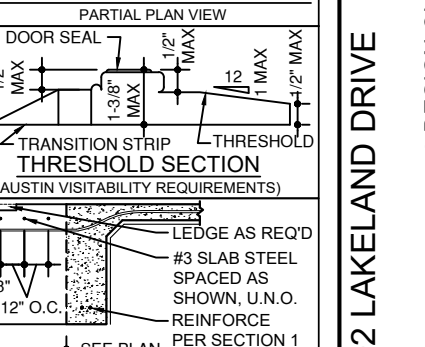
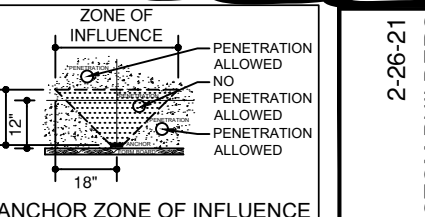
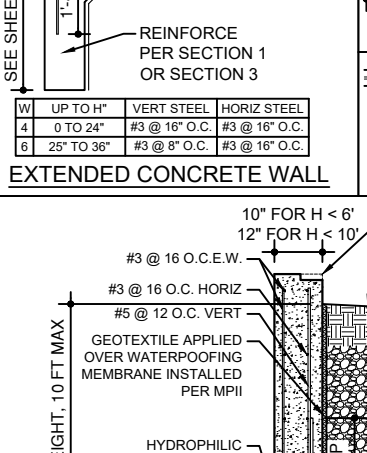
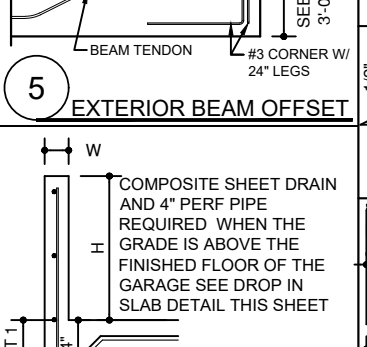
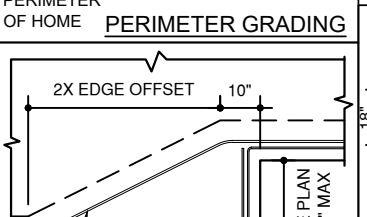
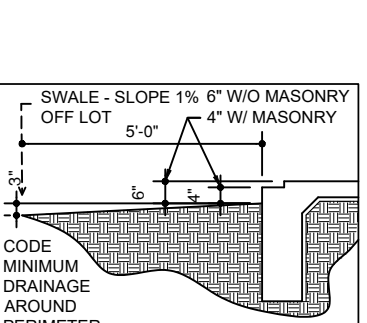
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 REPORT NUMBER:T 202140-1  
 REPORT DATE: 1-25-21  
 BEARING CAP.: psf  
 PI: 19  
 PTI3 PARAMETERS  
 · Em center: 8.7 ft  
 · Em edge: 4.5 ft  
 · Ym center: 1.0 in  
 · Ym edge: 4.3 in

**REVISION SCHEDULE**

REVISION	DATE	INITIALS	DESCRIPTION



**FOUNDATION DETAILS**



03.02.21

STATE OF TEXAS  
 CHRISTOPHER S. COPELAND  
 89672  
 LICENSED PROFESSIONAL ENGINEER

18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE

LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE

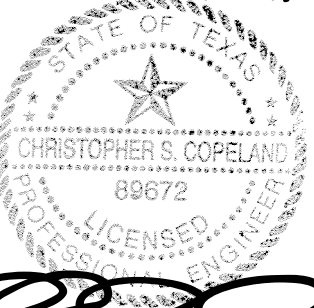
2-26-21  
 9 DESIGN CUSTOM BUILDERS

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 101 COTTONWOOD CREEK TRAIL  
 SUITE 160A CEDAR PARK, TX 78613

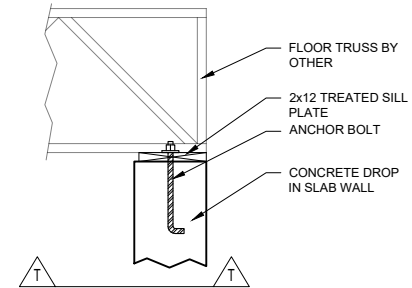
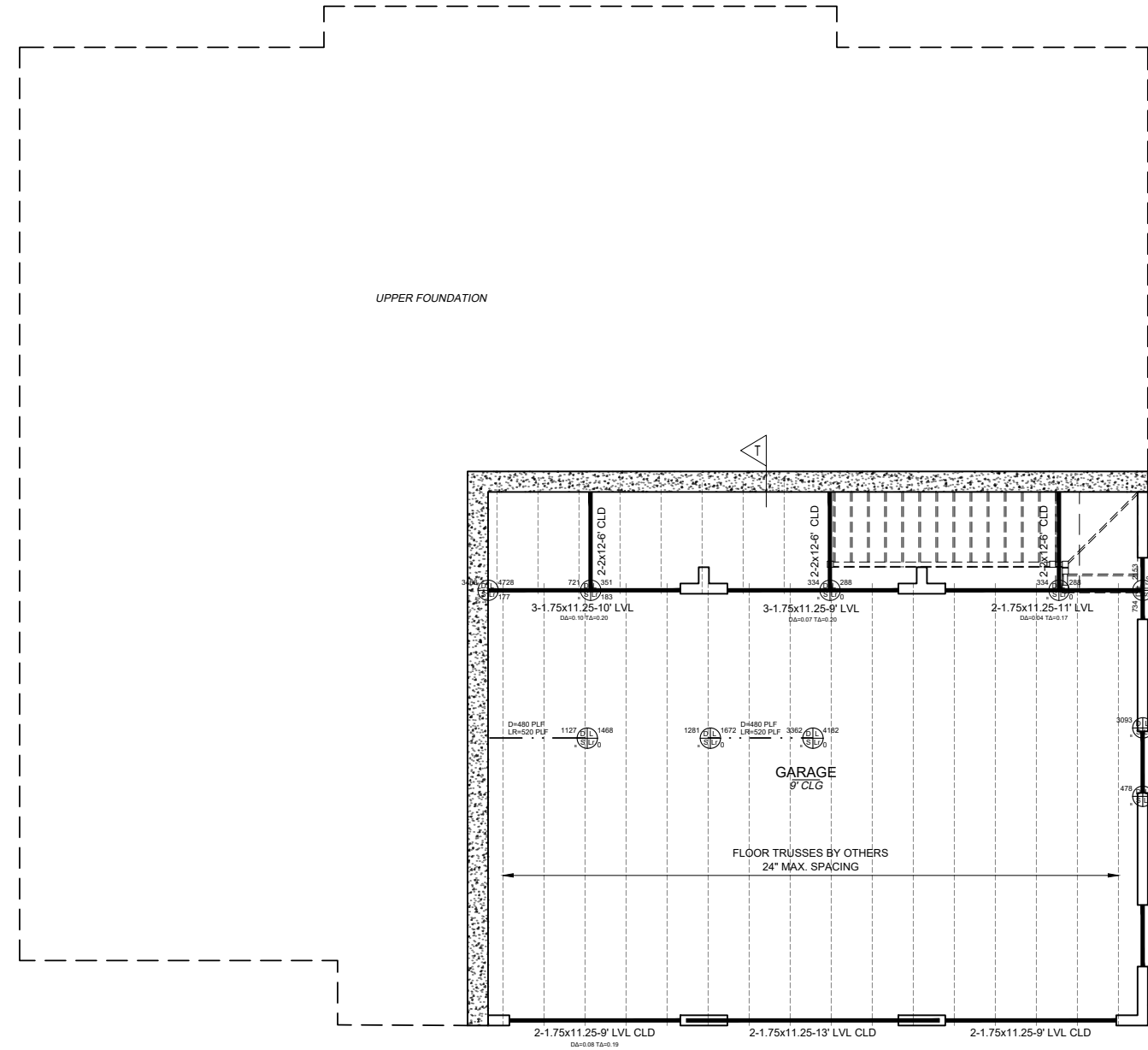
S3 OF 18

GARAGE CEILING FRAMING PLAN  
1/8" = 1'-0"

03.02.21



*[Signature]*



[Symbol]	FLOOR EXTENTS
[Symbol]	FLOOR TRUSS
[Symbol]	CEILING LINE
[Symbol]	JOIST LINEWEIGHT @ STORAGE
[Symbol]	JOIST LINEWEIGHT @ NON-STORAGE
[Symbol]	ENGINEERED BEAM
[Symbol]	STACKED ON WALL
[Symbol]	STACKED ON BEAM
[Symbol]	BEARING LINEWEIGHT
[Symbol]	NON-BEARING WEIGHT
[Symbol]	DEAD LOAD (LBS)
[Symbol]	LIVE LOAD (LBS)
[Symbol]	POINT LOAD (LBS)
[Symbol]	LINE LOAD (PLF)

18402 LAKELAND DRIVE	2-26-21
LAGO VISTA	9 DESIGN CUSTOM BUILDERS
POINT VENTURE	
LOT: BLOCK:	PHASE:
SECTION: CE:22101559	BY: ALE



INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724

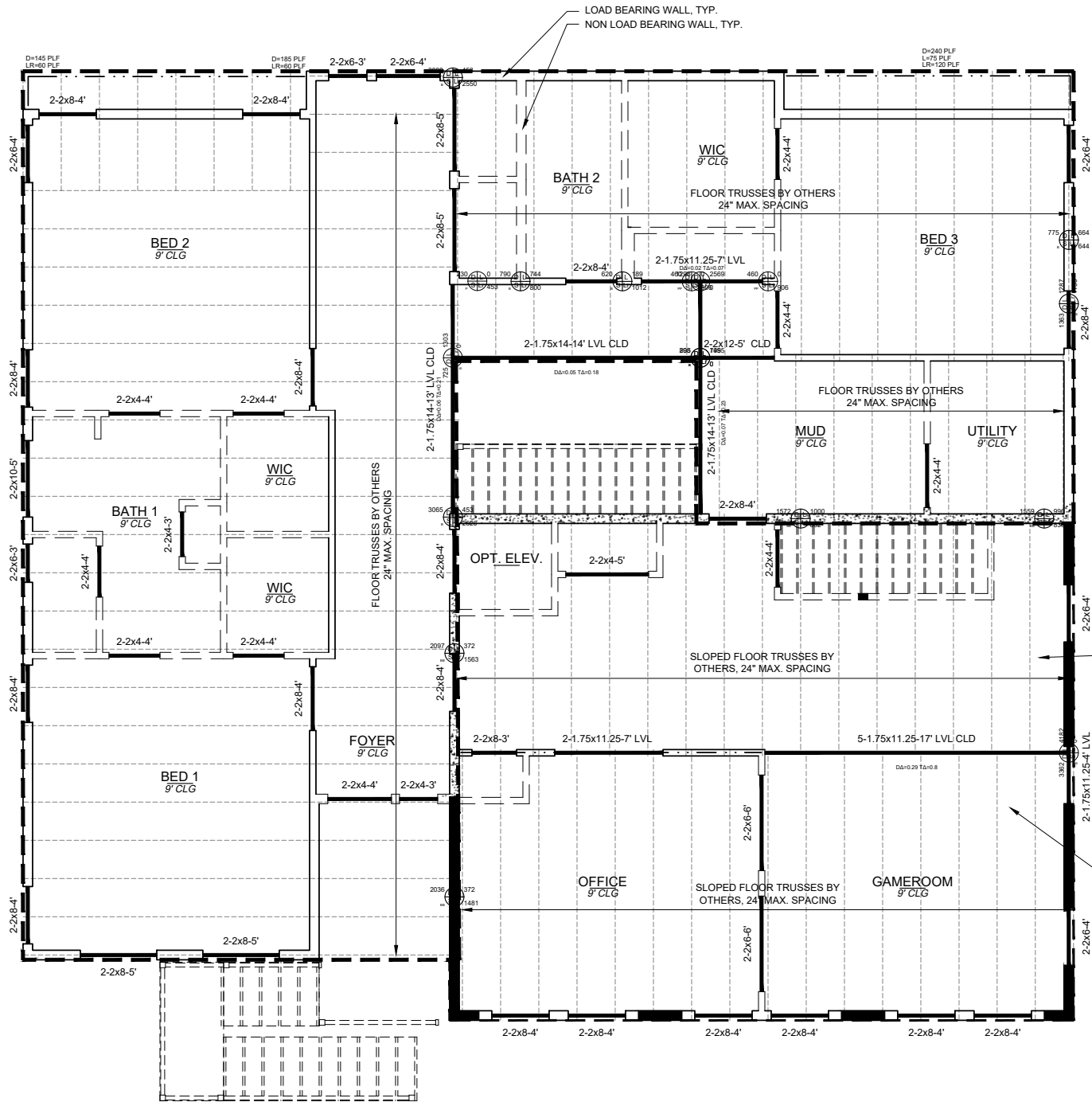
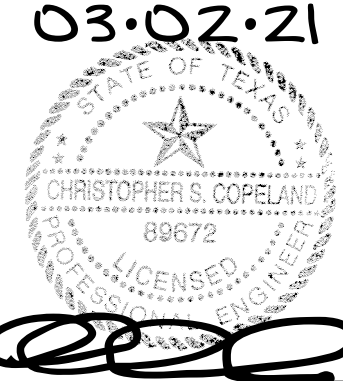


TABLE VIII*			
CEILING JOIST SPAN ( STORAGE L=20 )			
	24	16	12
2x6	9'-10"	12'-0"	13'-11"
2x8	12'-6"	15'-3"	17'-7"
2x10	14'-9"	18'-1"	20'-11"
2x12	17'-5"	21'-4"	24'-8"
a) ANY BEAM OF SAME SIZE WITH Fb >= 2600, Fv >= 285, AND E >= 2.0 MAY BE SUBSTITUTED FOR LVL.			

TABLE VII			
2x12 FLOOR JOIST SPAN ( DL = 10 PSF )			
SPACING ( INCHES )			
	24	16	12
LIVING ( L=40 )	13'-6"	16'-6"	19'-1"
SLEEPING ( L=30 )	15'-1"	18'-6"	21'-4"

LEVEL 1 CEILING FRAMING PLAN  
1/8" = 1'-0"



- FLOOR EXTENTS
- - - FLOOR TRUSS
- - - CEILING LINE
- - - JOIST LINEWEIGHT @ STORAGE
- - - JOIST LINEWEIGHT @ NON-STORAGE
- - - ENGINEERED BEAM STACKED ON WALL
- - - BEARING LINEWEIGHT
- - - NON-BEARING WEIGHT
- POINT LOAD (LBS)
- LINE LOAD (PLF)

18402 LAKELAND DRIVE  
LAGO VISTA  
POINT VENTURE

LOT: BLOCK:  
SECTION: PHASE:  
CE:22101559 BY: ALE

2-26-21  
9 DESIGN CUSTOM BUILDERS

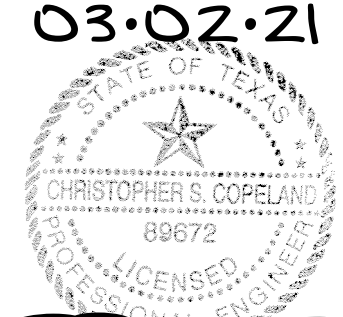
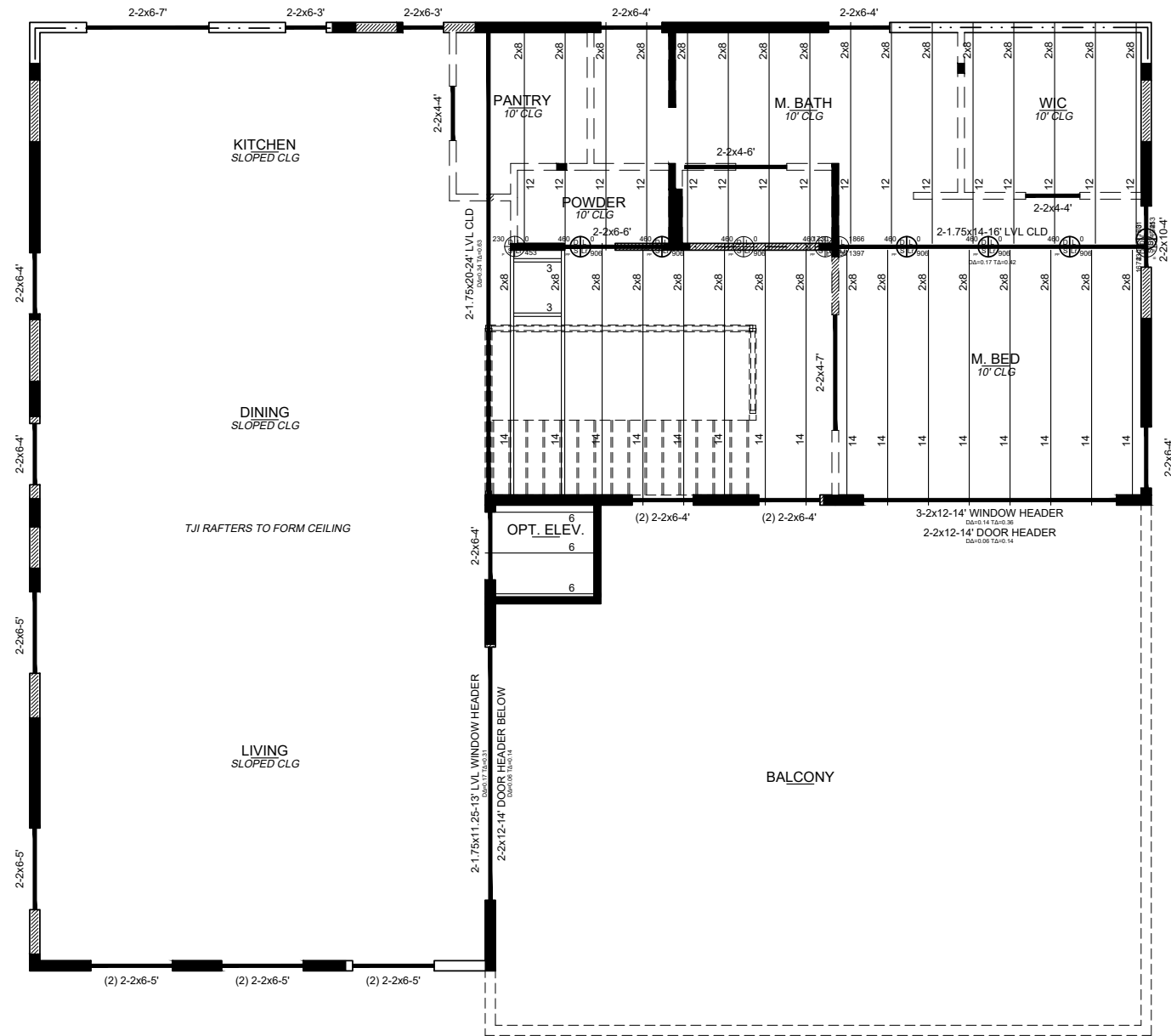
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Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

TABLE VIII <sup>a</sup>			
CEILING JOIST SPAN ( STORAGE L=20 )			
2x6	24	16	12
2x8	9'-10"	12'-0"	13'-11"
2x10	12'-6"	15'-3"	17'-7"
2x12	14'-9"	18'-1"	20'-11"
2x12	17'-5"	21'-4"	24'-8"
a) ANY BEAM OF SAME SIZE WITH F <sub>b</sub> >= 2600, F <sub>v</sub> >= 285, AND E >= 2.0 MAY BE SUBSTITUTED FOR LVL.			

TABLE VII			
2x12 FLOOR JOIST SPAN ( DL = 10 PSF )			
SPACING ( INCHES )			
LIVING ( L=40 )	24	16	12
SLEEPING ( L=30 )	13'-6"	16'-6"	19'-1"
	15'-1"	18'-6"	21'-4"

LEVEL 2 CEILING FRAMING PLAN  
1/8" = 1'-0"



*[Handwritten Signature]*

- FLOOR EXTENTS
- - - FLOOR TRUSS
- - - CEILING LINE
- JOIST LINEWEIGHT @ STORAGE
- JOIST LINEWEIGHT @ NON-STORAGE
- ENGINEERED BEAM
- STACKED ON WALL
- STACKED ON BEAM
- BEARING LINEWEIGHT
- NON-BEARING WEIGHT
- ⊕ DEAD LOAD
- ⊕ LIVE LOAD
- ⊕ POINT LOAD (LBS)
- LINE LOAD (PLF)

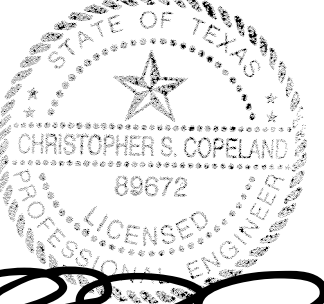
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SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE

2-26-21  
9 DESIGN CUSTOM BUILDERS

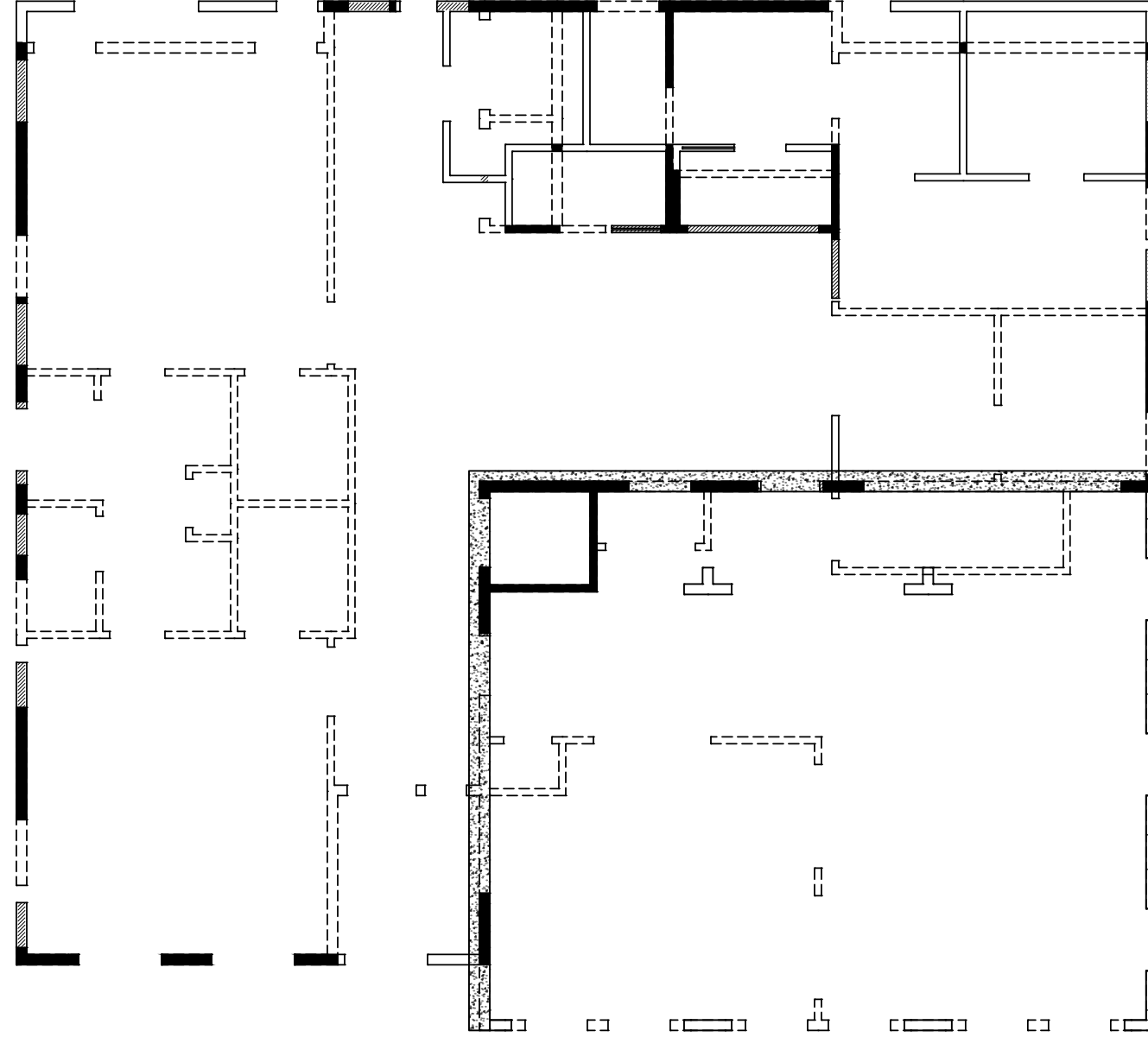
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Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

OVERLAY PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*

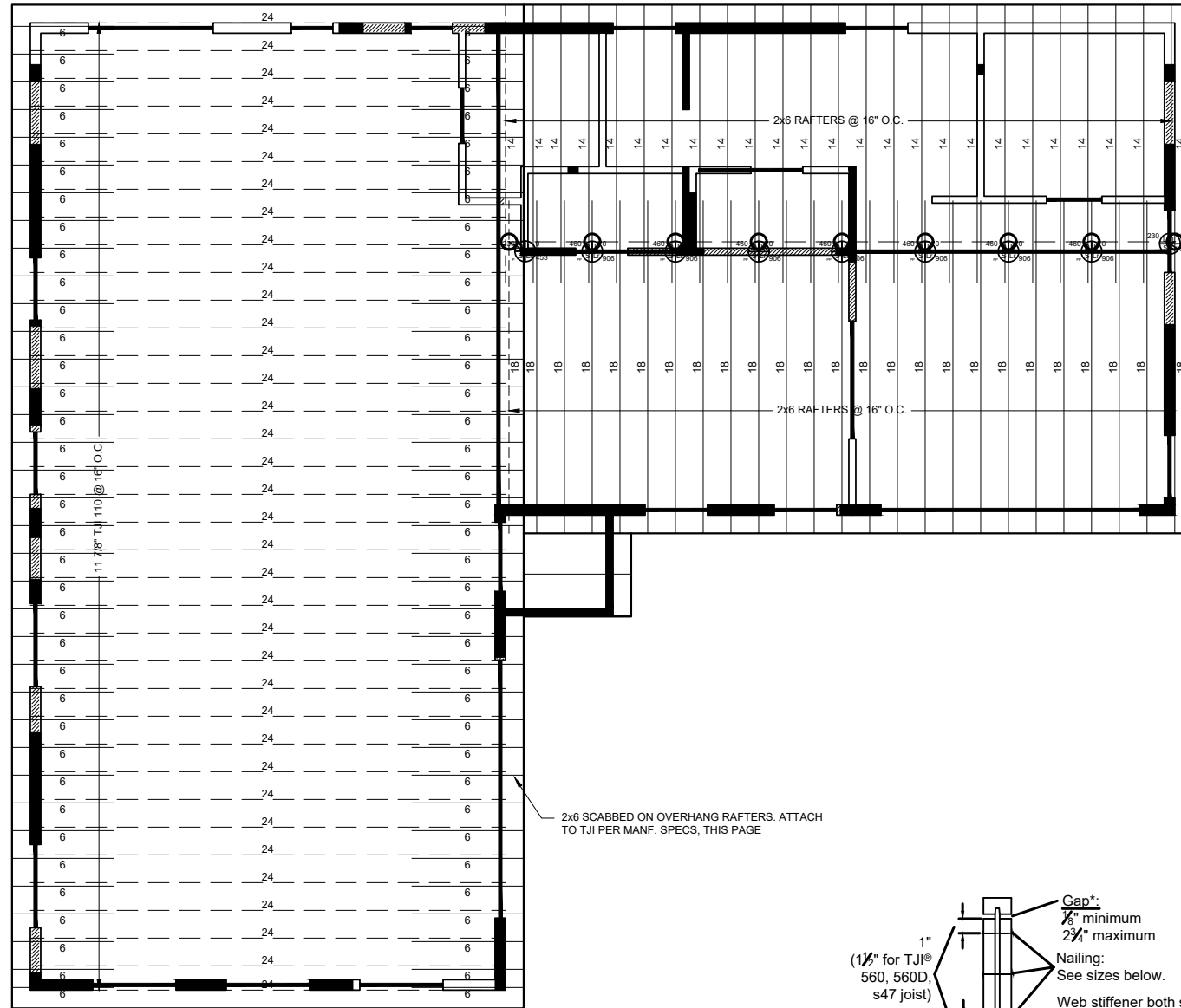


	STACKED ON WALL
	STACKED ON BEAM
	LOWER WALL
	UPPER WALL

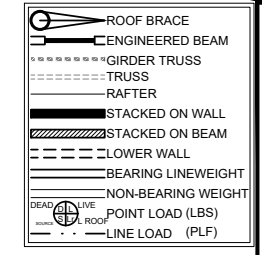
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TEXAS FIRM # F-17724	SECTION: PHASE:	LAGO VISTA	
<b>COPELAND ENGINEERING</b>	CE:22101559	POINT VENTURE	9 DESIGN CUSTOM BUILDERS
1701 COTTONWOOD CREEK TRAIL SUITE 180A CEDAR PARK, TX 78613	BY: ALE		

TABLE X RAFTER SPANS (L=20)					
CEILING NOT ATTACHED	COMP METAL D=10	24		12	
		2x6	11'-0"	13'-6"	15'-7"
CEILING ATTACHED	COMP METAL D=10	2x8	13'-11"	17'-1"	19'-8"
		2x10	16'-6"	20'-3"	23'-5"
		2x12	19'-6"	23'-10"	>26'
		2x6	11'-0"	13'-5"	14'-9"
CEILING ATTACHED	COMP METAL D=10	2x8	13'-11"	17'-1"	19'-6"
		2x10	16'-6"	20'-3"	23'-5"
		2x12	19'-6"	23'-10"	>26'

TABLE IX ROOF BRACES AND STIFFBACK SIZES		
MAX LENGTH (FT)	BRACE	STIFFBACK
4	2x4	N/A
12	2x6	2x4
16	2x6	2x6

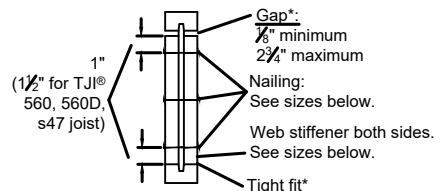


ROOF FRAMING PLAN  
1/8" = 1'-0"



18402 LAKELAND DRIVE  
LAGO VISTA  
POINT VENTURE  
2-26-21  
9 DESIGN CUSTOM BUILDERS

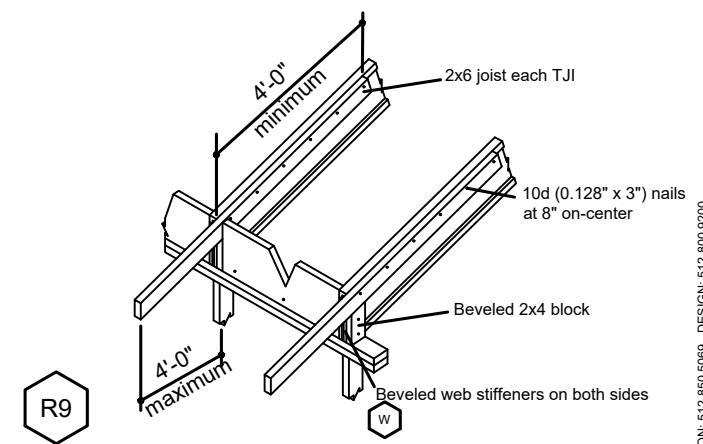
2x6 SCABBED ON OVERHANG RAFTERS. ATTACH TO TJI PER MANF. SPECS, THIS PAGE



TJI® Joist Series	Depth (in.)	Minimum Web Stiffener Size	Nailing Requirements		
			Type	Number Nails	
110	All	2x4 <sup>(2)</sup>	8d (0.113" x 2 1/2")	End	Intermediate
230 & 360				3	3
s31 & s33				3	3
560 & s47				4	4
560D	18"	2x4 <sup>(2)</sup>	16d (0.135" x 3 1/2")	4	4
	20"			5	5
	22" <sup>(3)</sup>			6	11
	24" <sup>(3)</sup>			6	13

(1) PS1 or PS2 sheathing, face grain vertical  
(2) Construction grade or better

TYPICAL TJI ROOF DETAILS



INSPECTION: 512.850.9089 DESIGN: 512.800.9200  
Texas Firm # F-17724



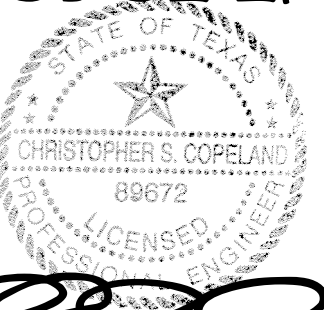
NOTE:

BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYline TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

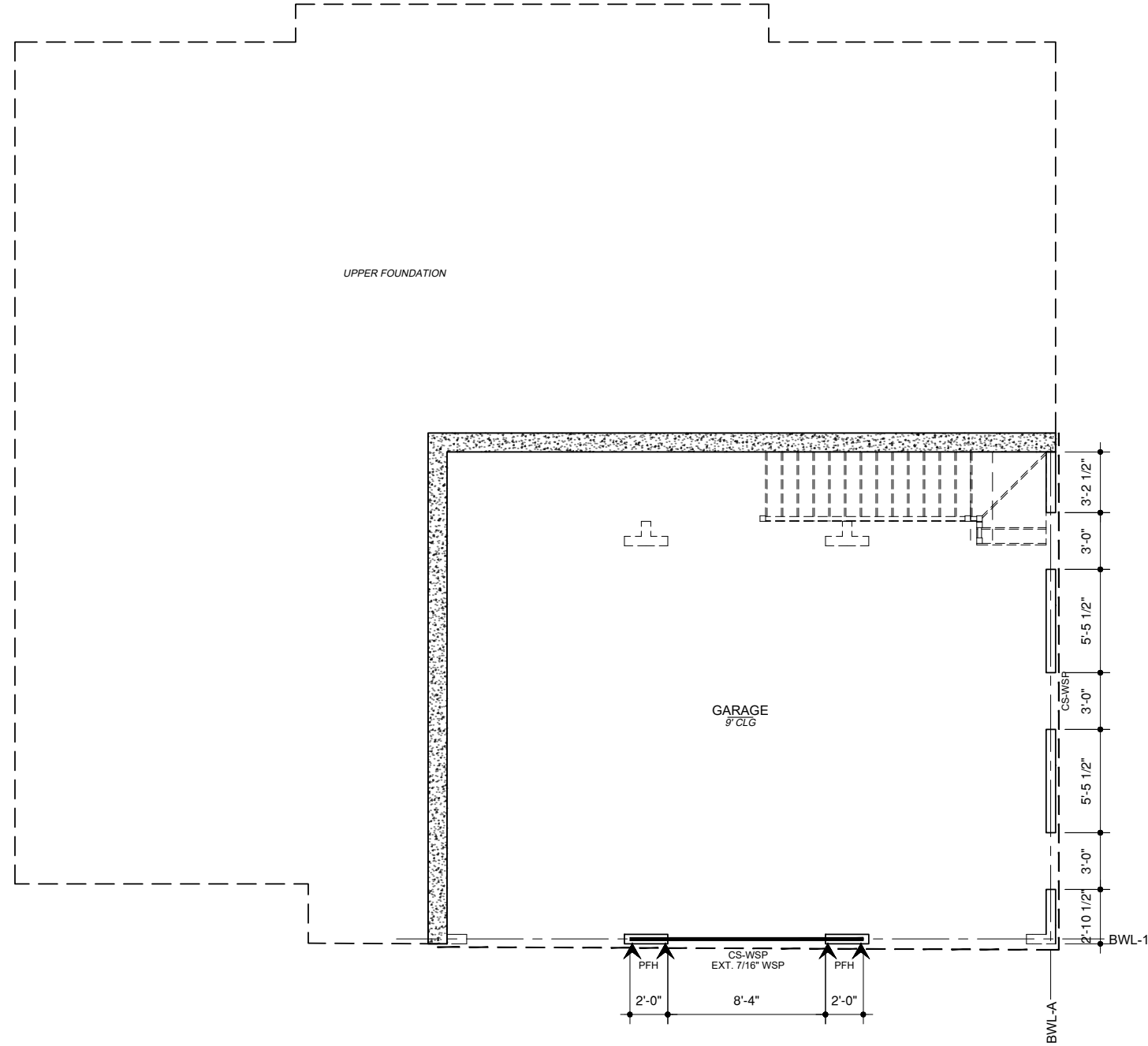
# GARAGE LATERAL BRACING PLAN

1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE

LOT: BLOCK: 18402 LAKELAND DRIVE  
 SECTION: PHASE: LAGO VISTA  
 CE:22101559 BY: ALE POINT VENTURE  
 2-26-21 9 DESIGN CUSTOM BUILDERS

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 1701 COTTONWOOD CREEK TRAIL  
 SUITE 180A CEDAR PARK, TX 78613

NOTE:

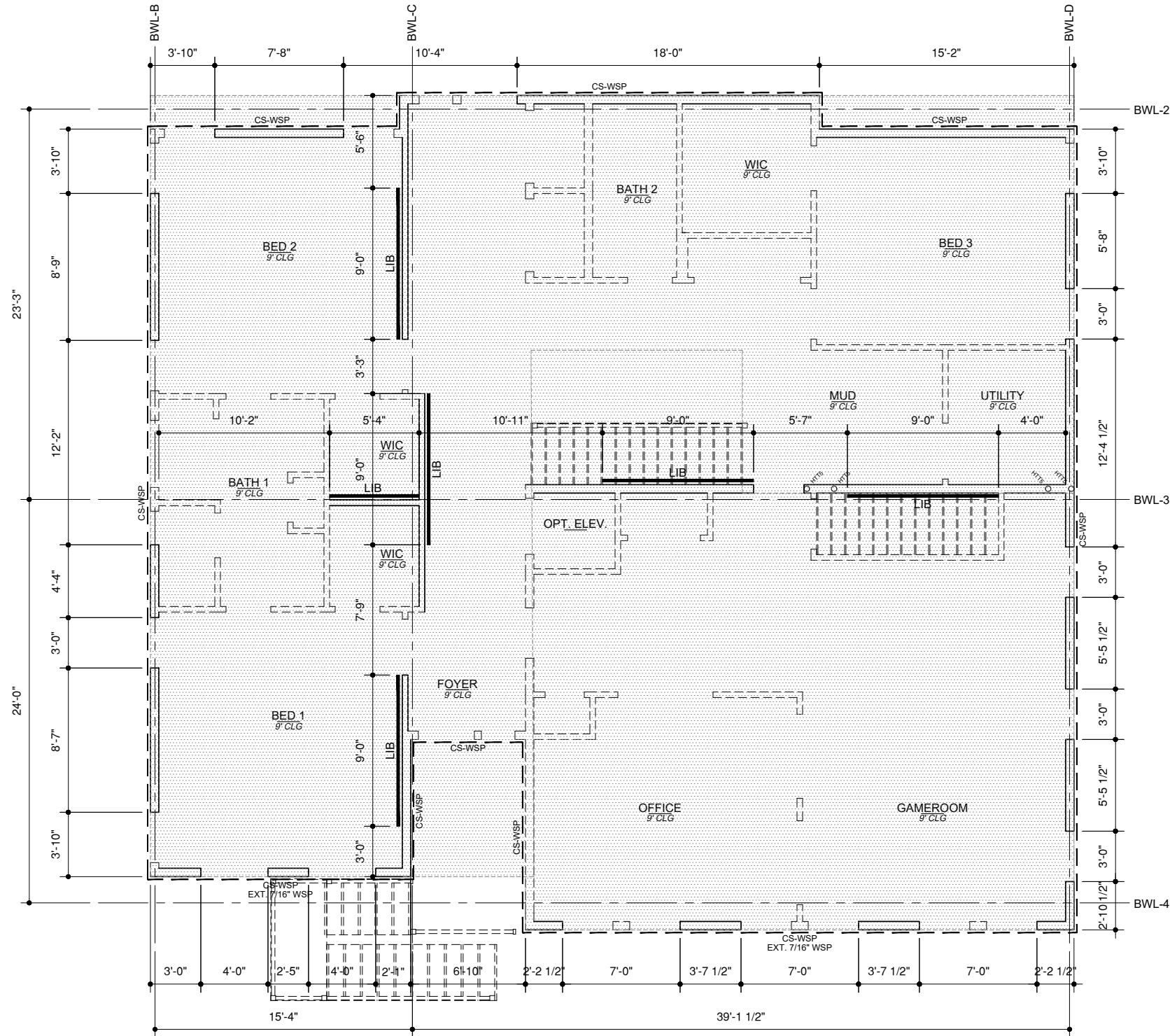
BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYline TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

LEVEL 1 LATERAL BRACING PLAN  
1/8" = 1'-0"

03.02.21



*[Handwritten Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE

LOT: BLOCK: 18402 LAKELAND DRIVE  
SECTION: PHASE: LAGO VISTA  
CE:22101559 BY: ALE POINT VENTURE  
9 DESIGN CUSTOM BUILDERS  
2-26-21

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

NOTE:

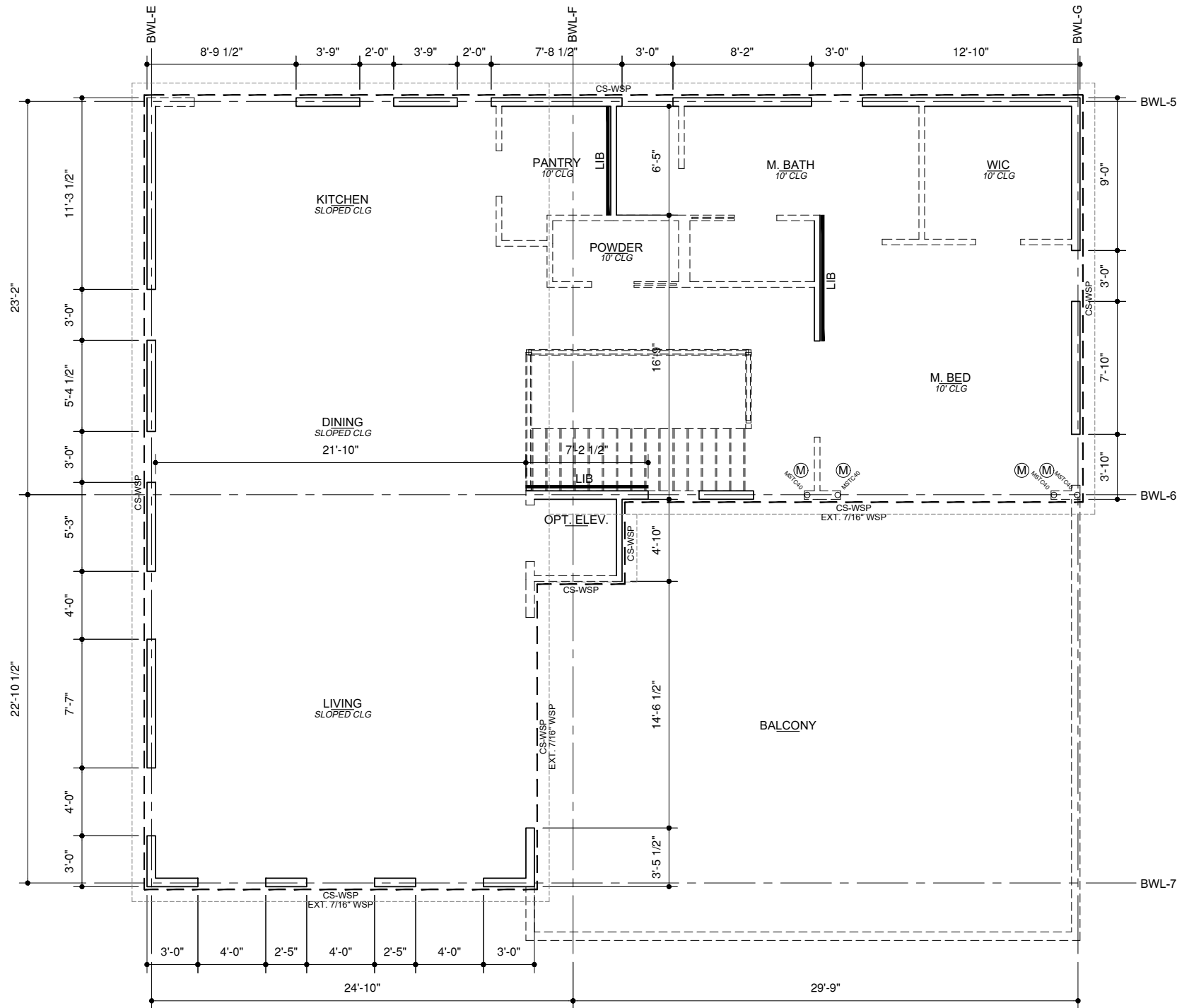
BUILDER MAY USE CONTINUOUS SHEATHING METHODS IN LIEU OF PARTIAL SHEATHING METHODS: LIB, TPLY, WSP OR GB. LIB MAY BE REPLACED WITH CONTINUOUS GYPSUM, RED T-PLY, GREEN DRYline TSX OR 7/16" OSB. OTHER METHODS SHALL BE REPLACED BY THE CONTINUOUS VERSION, USING THE SHEATHING MATERIAL NOTED

LEVEL 2 LATERAL BRACING PLAN  
1/8" = 1'-0"

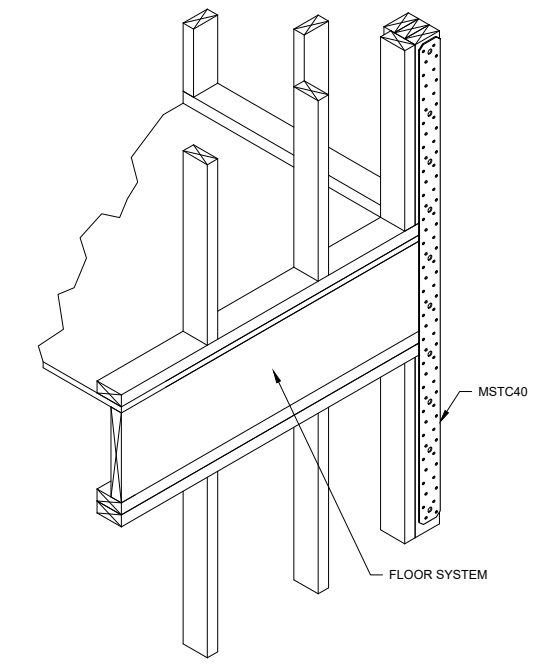
03.02.21



*[Signature]*



#?	DETAIL CALL-OUT
---	BRACED LINEWEIGHT
---	NON-BRACED WEIGHT
---	STRUT, DETAIL 3
▲	STHD-14, DETAIL 1
PFH	PORTAL FRAME W/ HOLD DOWNS DETAIL 18D
CS-PF	PORTAL FRAME W/O HOLD DOWNS DETAIL 19A
LIB	LET-IN BRACE DETAIL 18A
WSP	INTERMITTENT BRACING DETAIL 18B
CS-WSP	CONTINUOUS BRACING DETAIL 19C
BWL-A	BRACED WALL LINE



M UPPER LEVEL SHEAR WALL CORNER CONNECTION

18402 LAKELAND DRIVE  
LAGO VISTA  
POINT VENTURE

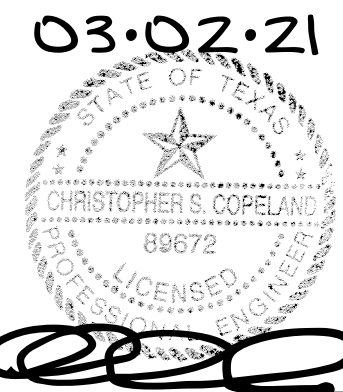
LOT: BLOCK:  
SECTION: PHASE:  
CE:22101559 BY: ALE

2-26-21  
9 DESIGN CUSTOM BUILDERS

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
Texas Firm # F-17724  
**COPELAND ENGINEERING**  
1701 COTTONWOOD CREEK TRAIL  
SUITE 180A CEDAR PARK, TX 78613

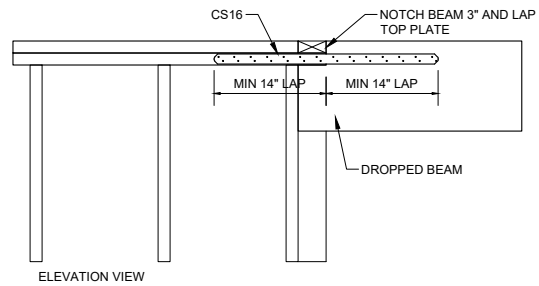
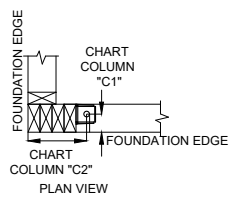
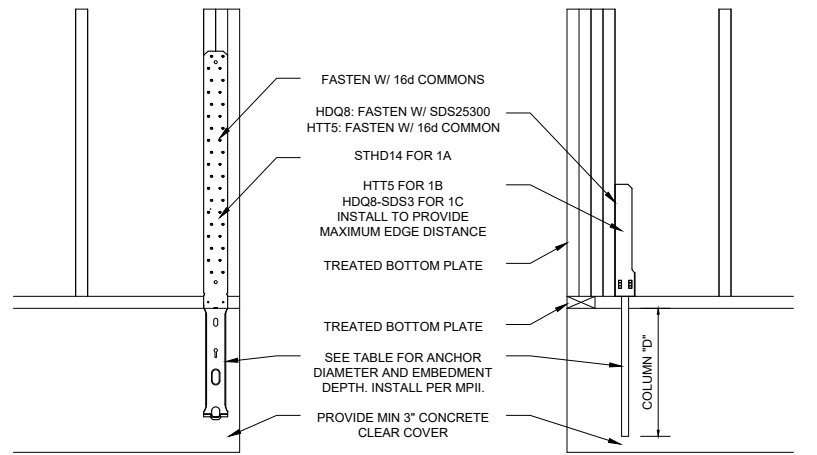




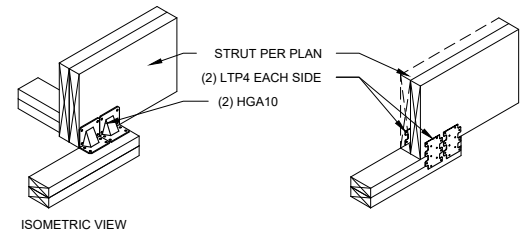


DETAIL 1A, 1B, AND 1C LOWER HOLD DOWNS					
PLAN SPEC	PART NO	Ø (IN)	"C1" MIN (IN)	"C2" MIN (IN)	"D" EMBED MIN (IN)
1A	STHD14	WET SET	0.00	2.00	14.0
1B	HTT5	5/8"Ø	2.25	5.75	11.0
			9.00	9.00	5.0
1C	HDQ8-SD S3	7/8"Ø	2.00	5.75	17.5
			5.00	10.50	12.5

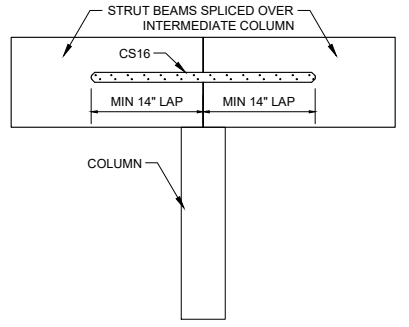
HOLD DOWNS MAY BE INSTALLED ON ANY FACE OF STUD BANK AS LONG AS "C1" AND "C2" RESULT IN CAPACITY EXCEEDING THAT REQUIRED ON PLAN.



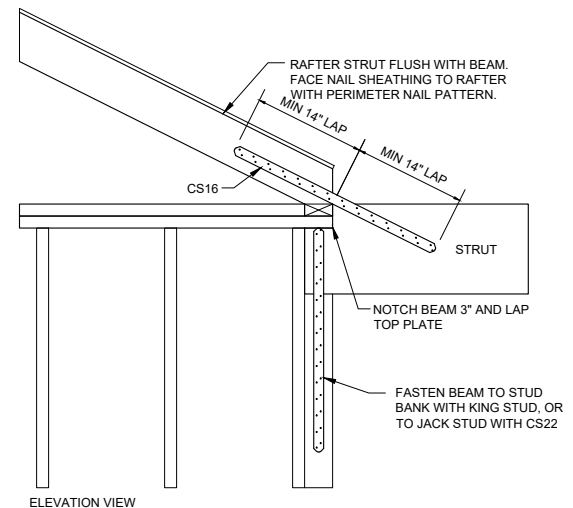
A DROPPED BEAM TO TOP PLATE



B CONCEALED BEAM TO PLATE STRUT CONNECTIONS

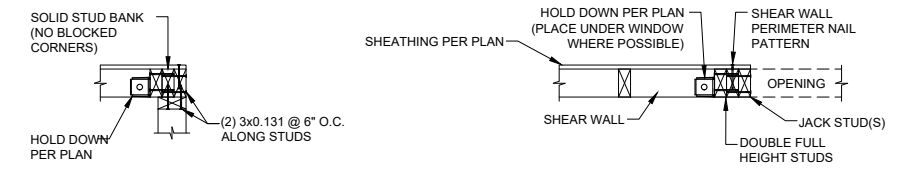


C BEAMS OVER INTERMEDIATE COLUMN

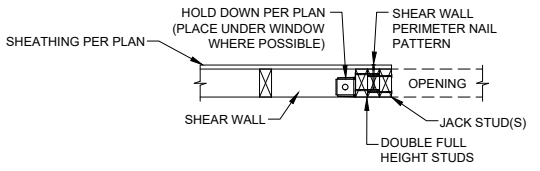


D BEAM TO RAFTER CONNECTION

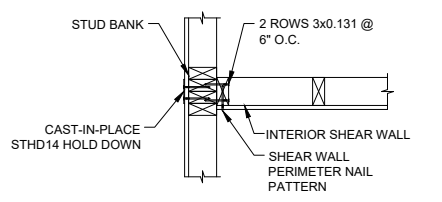
1 HOLD DOWNS - REQUIRED ONLY WHERE SPECIFIED ON PLAN



A SOLID CORNER

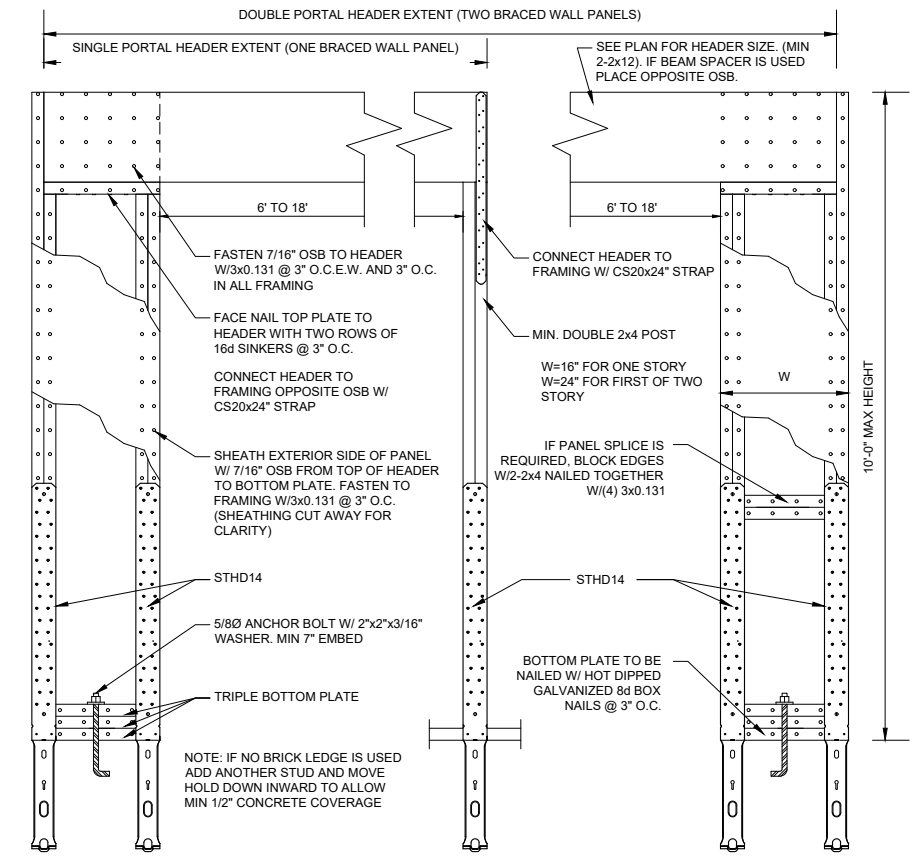


B OPENING

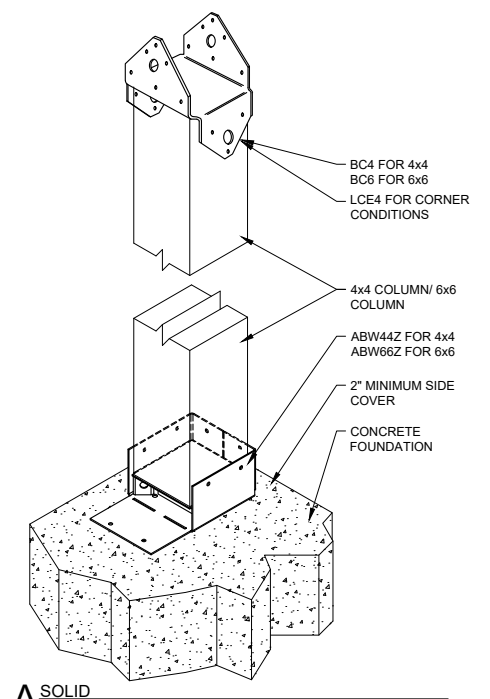


C TEE AT EXTERIOR

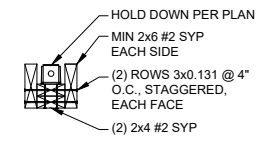
2 FRAMING @ HOLD DOWN LOCATIONS



4 PFH PORTAL FRAME



5 COLUMN ANCHORAGE AND CONNECTION

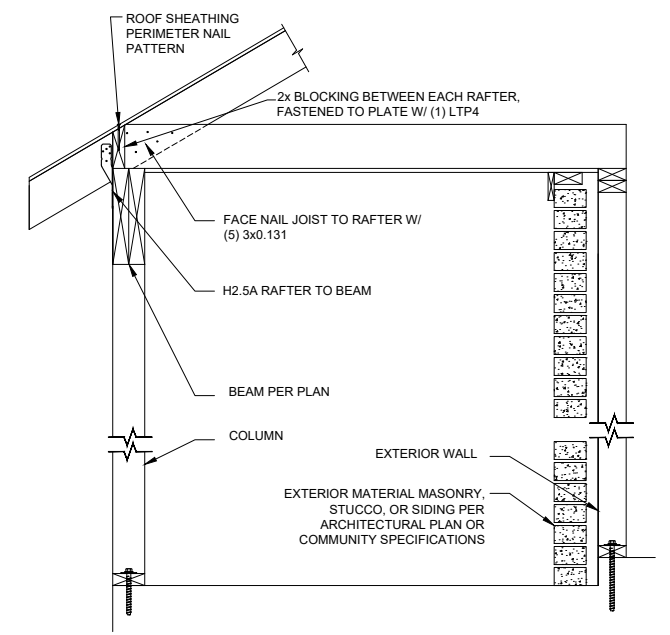
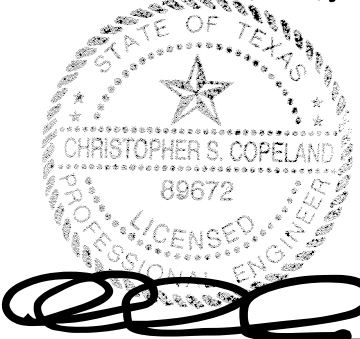


B BUILT-UP

18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 2-26-21  
 9 DESIGN CUSTOM BUILDERS  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE  
 COPOLAND ENGINEERING  
 1701 COTTONWOOD CREEK TRAIL  
 SUITE 180A CEDAR PARK, TX 78613  
 INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724

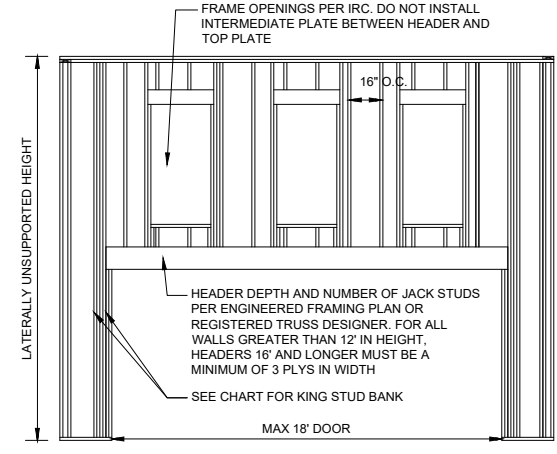
FRAMING DETAILS

03.02.21

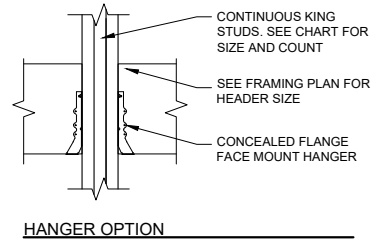


A PORCH FRAMING AND STRAPPING

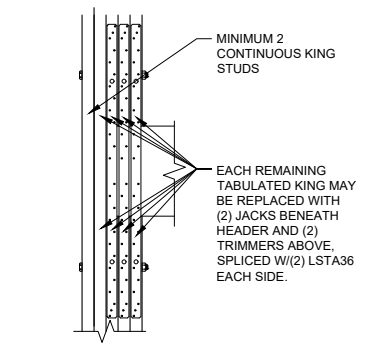
#2 S.Y.P. KING STUD COLUMNS					
BALLOON FRAME STUD NUMBER AND SIZE					
HEIGHT	12'-14"	< 15'-2"	< 16'-8"	< 19'-8"	< 21'-8"
# KING STUDS	3-2x6	4-2x6	5-2x6	3-2x8	4-2x8
CONNECT 4 AND 5 PLY KING STUDS WITH 1/2" THROUGH BOLTS @ 24" O.C.					



B BALLOON FRAMED WALL @ GARAGE DOOR



HANGER OPTION

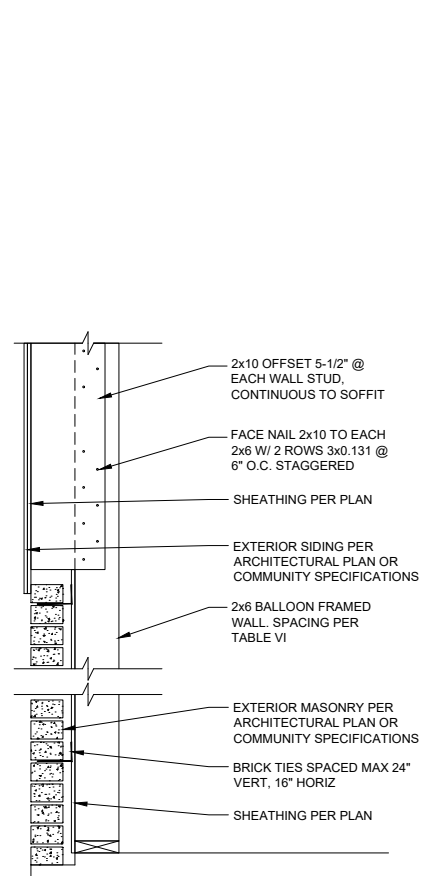
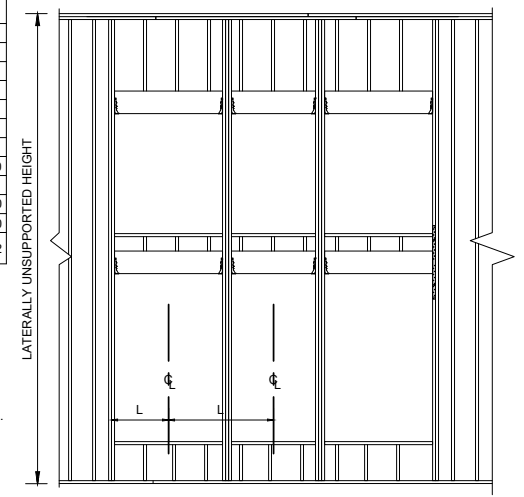


TRIMMER OPTION

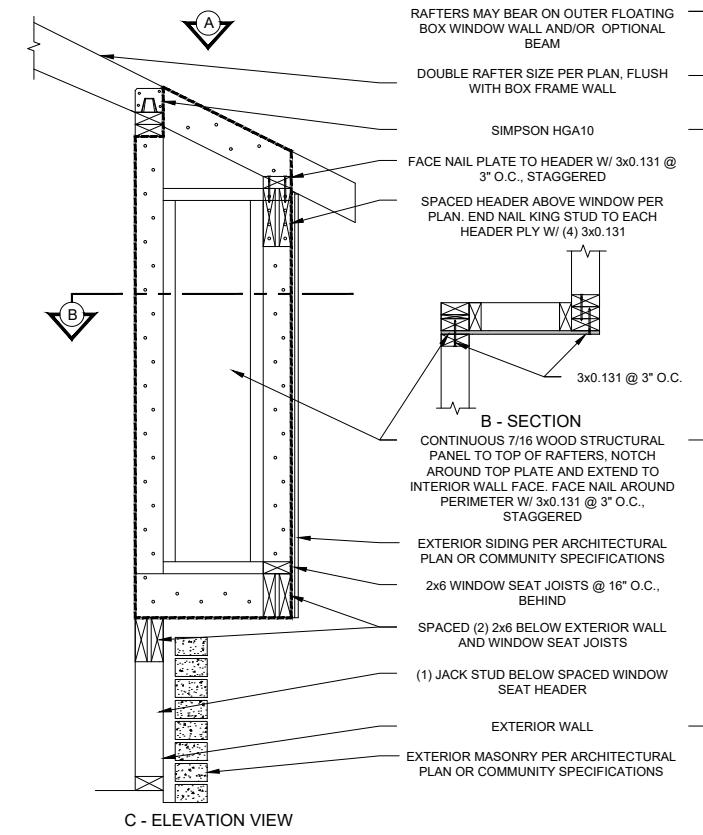
C TYPICAL BALLOON FRAMED WALLS

KING STUD SPECIFICATION OPTIONS	90 MPH			
	TRIBUTARY LENGTH, L ( FT )			
H ( FT )	2	3	4	5
10	2-2x4	3-2x4	3-2x4	4-2x4
	1-2x6	1-2x6	1-2x6	1-2x6
12	3-2x4	4-2x4	2-2x6	2-2x6
	1-2x6	1-2x6	1-2x8	1-2x8
14	2-2x6	2-2x6	3-2x6	4-2x6
	1-2x8	1-2x8	2-2x8	2-2x8
18	2-2x6	3-2x6	4-2x6	2-2x8
	1-2x8	2-2x8	2-2x8	1-2x10
20	3-2x6	4-2x6	3-2x8	3-2x8
	2-2x8	2-2x8	2-2x10	2-2x10
24	3-2x8	4-2x8	3-2x10	3-2x10
	2-2x10	2-2x10	2-2x12	2-2x12

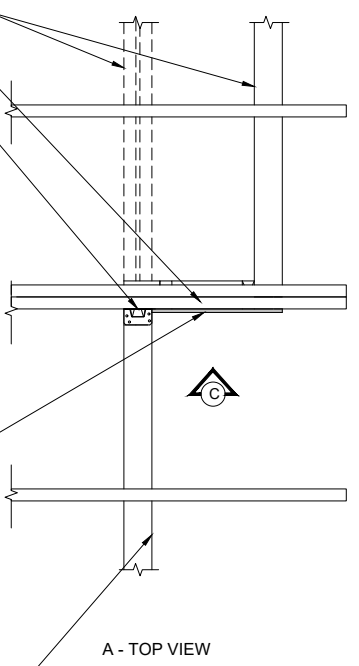
NOTES  
 1. 7/16 OSB SHEATHING REQUIRED FOR ALL WALLS EXCEEDING 10'. NO JOINTS WITHIN 24" OF HEADER/KING STUD INTERSECTION.  
 2. FOR WALL HEIGHTS EXCEEDING 14', HEADER TO BE MIN 3-PLY.  
 3. CONNECT 4 AND 5 PLY STUD BANKS WITH 1/2" THROUGH BOLTS @ 24" O.C.



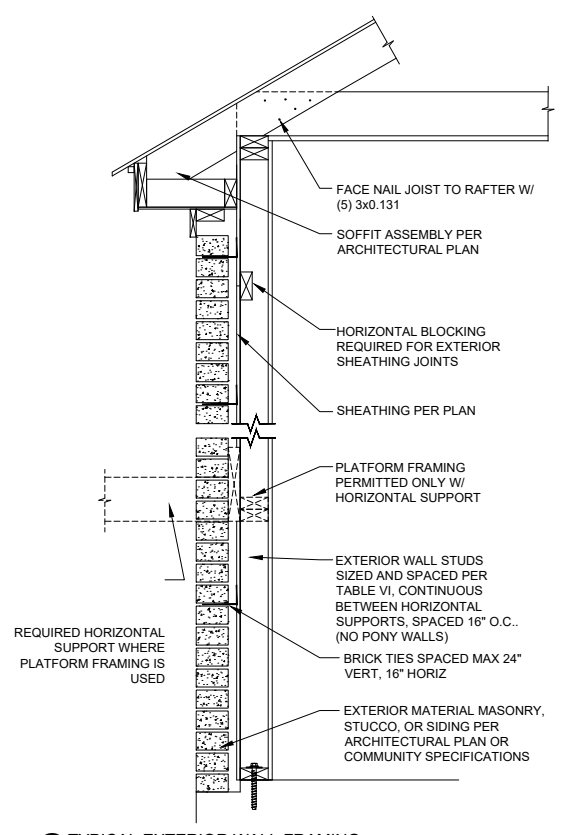
D BALLOON FRAME WALL @ BRICK POCKET



E FLOATING BOX WINDOW AT UPPER ROOF HEIGHT



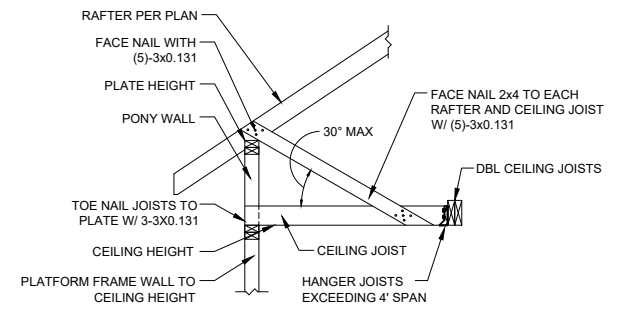
F WALL FRAMING TYPICAL BRICK POCKET



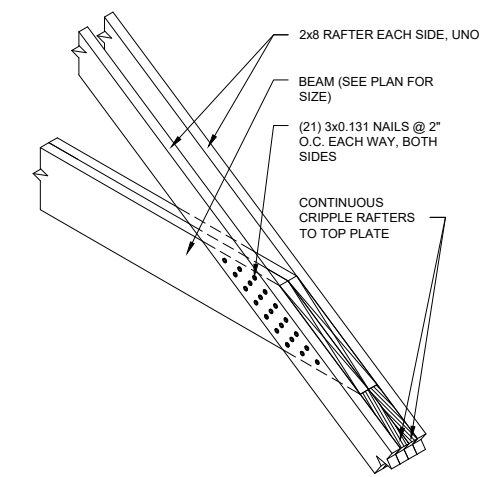
G TYPICAL EXTERIOR WALL FRAMING

6 TYPICAL WALL FRAMING

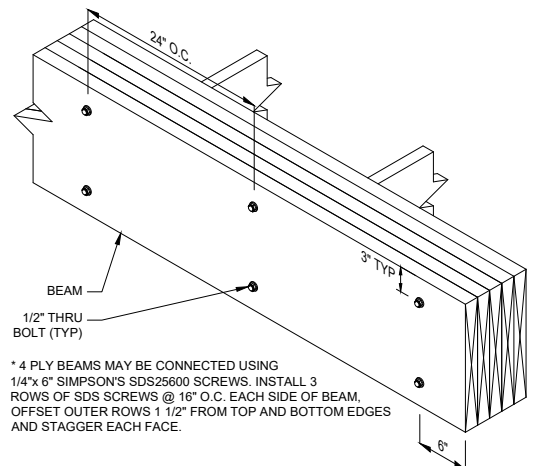
18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 9 DESIGN CUSTOM BUILDERS  
 2-26-21  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE  
 INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 1301 COTTONWOOD CREEK TRAIL  
 SUITE 160A CEDAR PARK, TX 78613



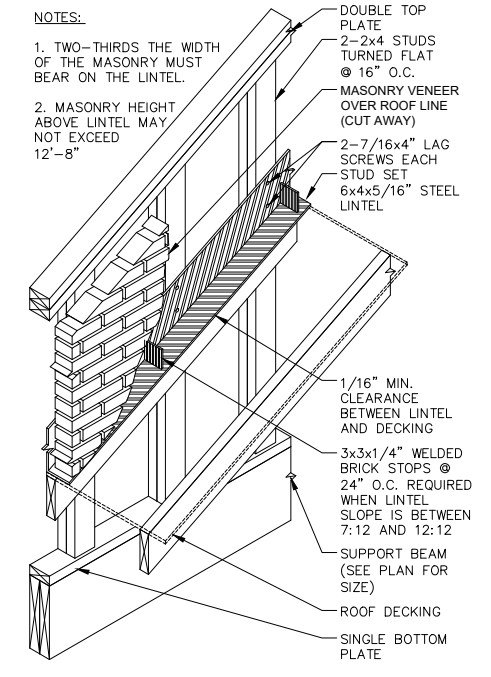
**A** RAFTER TIE AT RAISED PLATE



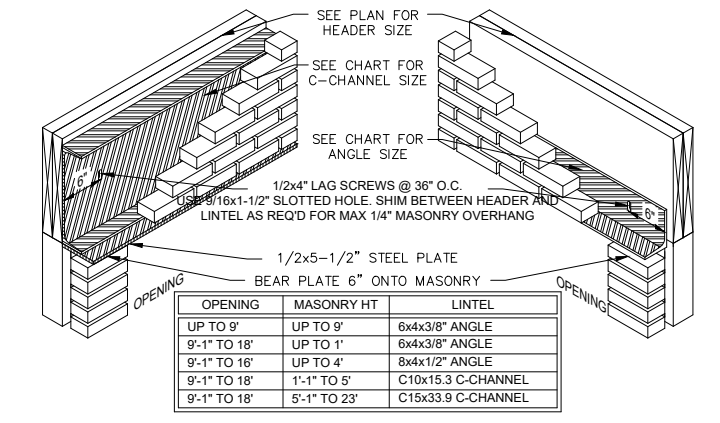
**B** RAFTER SUPPORTED BEAM (RSB)



**C** 4 AND 5 PLY BEAM CONNECTIONS

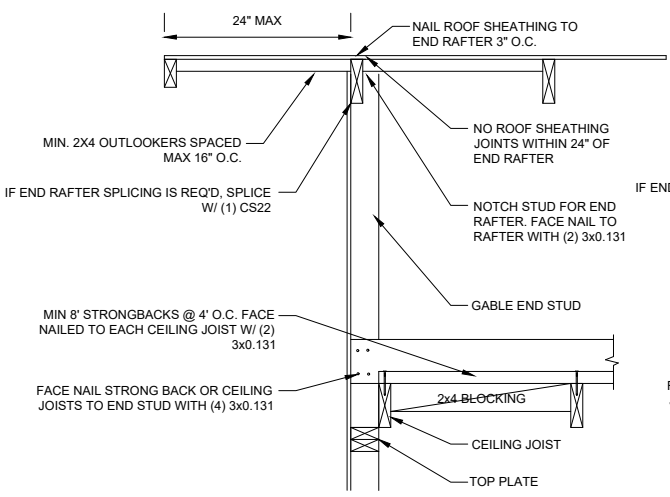


**A** MASONRY OVER ROOF

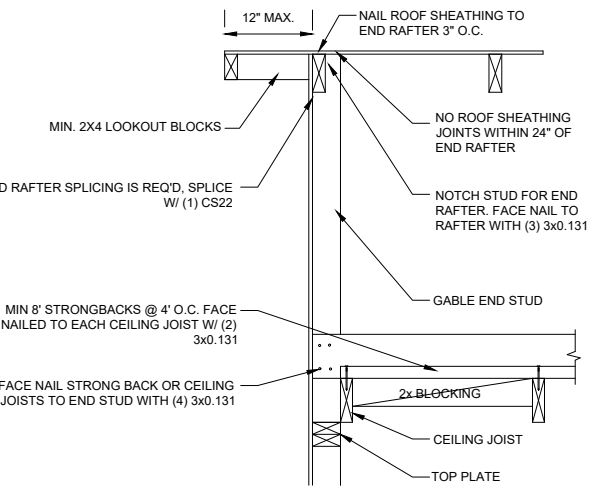


**B** MASONRY SUPPORT OVER OPENINGS

**7** TYPICAL ROOF AND CEILING FRAMING DETAILS

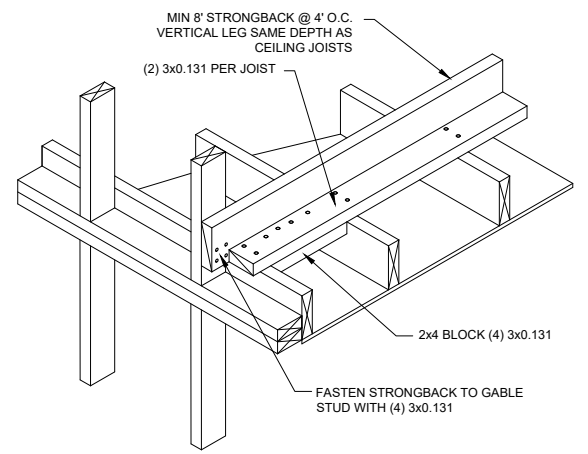


**A** OUTLOOKERS

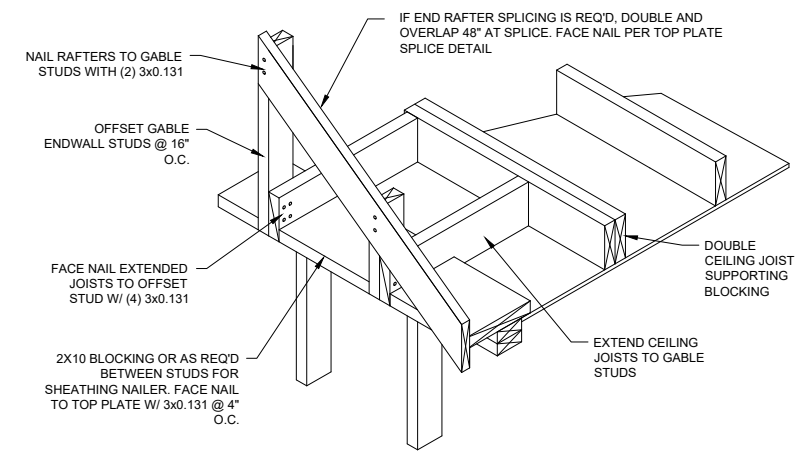


**B** LOOKOUT BLOCKS

**8** LINTEL DETAILS



**A** ENDWALL BRACING



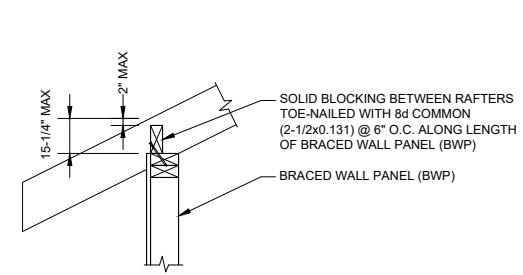
**B** OFFSET ENDWALL

**9** GABLE OVERHANG

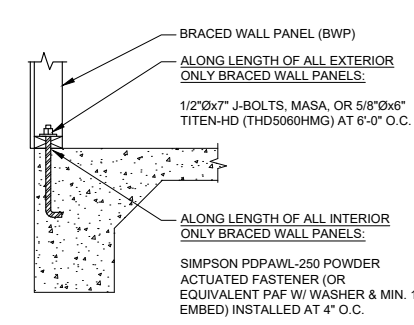
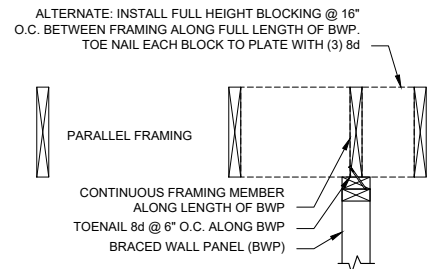
**10** GABLE WALL FRAMING

2-26-21  
 18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 9 DESIGN CUSTOM BUILDERS  
 LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE

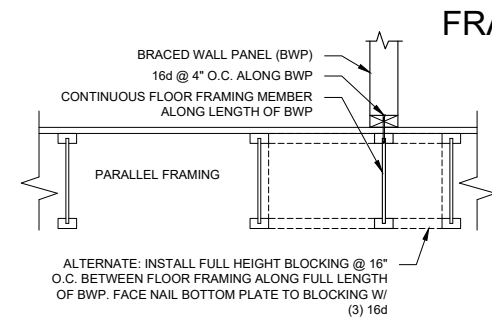
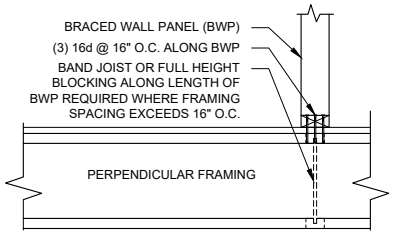




**A** BWP TOP PLATE CONNECTIONS



**B** BWP BOTTOM PLATE CONNECTIONS

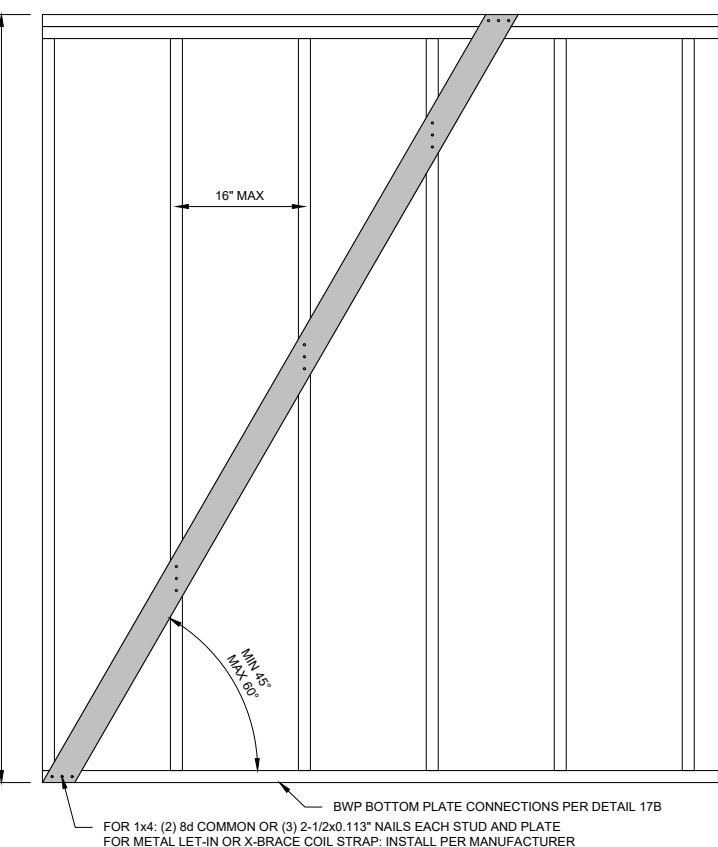


**FRAMING DETAILS**

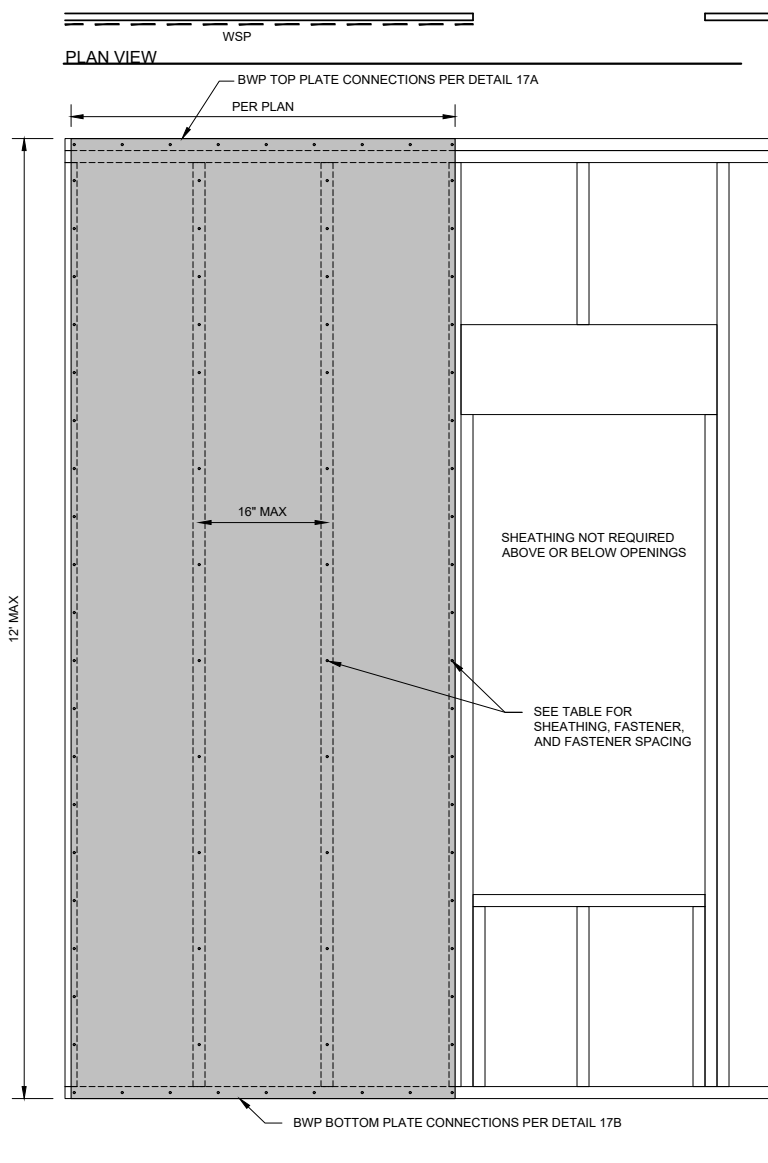


**17 BRACED WALL PANEL (BWP) CONNECTIONS**

**PLAN VIEW**  
LIB  
1/2" GYPSUM WALL BOARD IS REQUIRED ALONG BRACED WALL PANEL AT LOCATION OF LET-IN BRACE AND FASTENED AT 8" O.C. WITH ONE OF THE FOLLOWING: 1-1/4" TYPE W SCREWS; 13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD



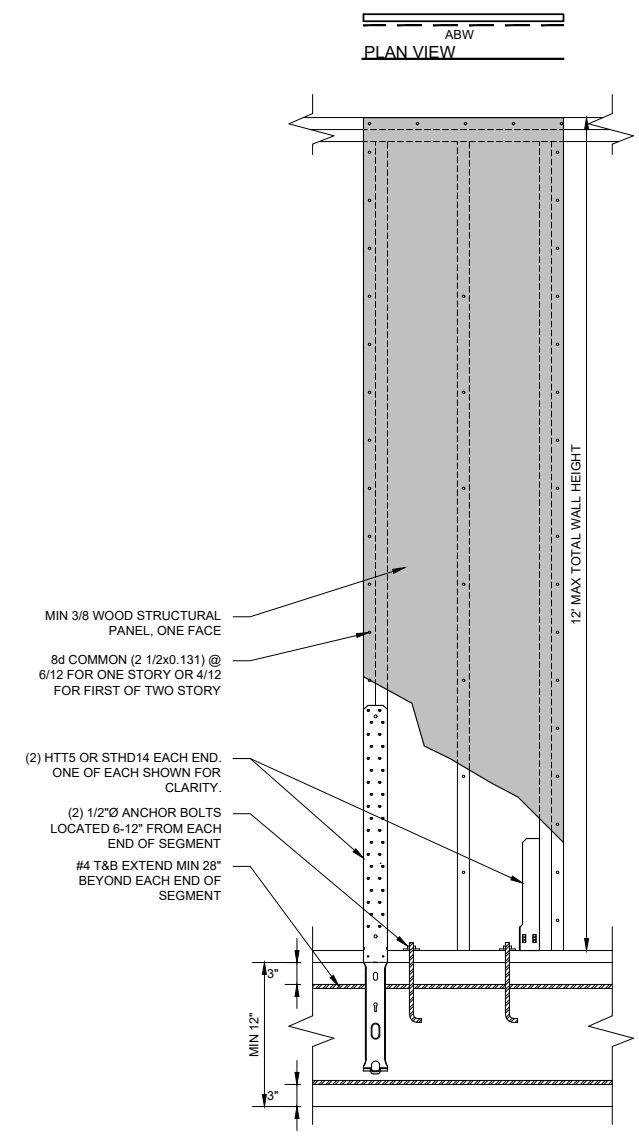
**A** LIB - LET-IN



**B** WSP, GB, SFB, PBS, AND HPS SHEATHING

PRESCRIPTIVE BRACING INTERMITTENT SHEATHING CONSTRUCTION <sup>a,b</sup>			
BRACING METHOD	SHEATHING	FASTENER <sup>c</sup>	SPACING EDGE/FIELD
WSP	EXTERIOR 3/8" WOOD STRUCTURAL PANEL	6d COMMON (2.0x0.113)	6/12
	EXTERIOR 7/16" WOOD STRUCTURAL PANEL	8d COMMON (2.5x0.131)	6/12
	INTERIOR 3/8" OR 7/16" WOOD STRUCTURAL PANEL	6d COMMON (2x0.113)	6/12
		15 ga 1-3/4	4/8
		2-1/4x(0.097-0.099) NAIL <sup>d</sup>	3/6
0.113" RED THERMOPLY	16 ga x1-1/4, 1" CROWN	3/3	
GB <sup>e</sup>	INTERIOR 1/2" GYPSUM PANEL	13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD; 1-1/4 TYPE W SCREWS;	7/7
	EXTERIOR 1/2" GYPSUM PANEL	1-1/2 GALV. ROOF NAIL; 1-1/2 GALV STAPLE; 1-1/4 TYPE W SCREW	7/7
	EXTERIOR 5/8" GYPSUM PANEL	1-3/4 GALV. ROOF NAIL; 1-5/8 GALV STAPLE; 1-5/8 TYPE W SCREW	7/7
SFB	1/2" OR 25/32" STRUCTURAL FIBERBOARD (QUIETBRACE)	1-1/2x0.12 GALV. ROOFING NAILS (1-3/4 FOR 25/32"); 8d COMMON (2-1/2x0.131)	3/6
PBS	3/8" OR 1/2" PARTICLE BOARD	FOR 3/8: 6d COMMON (2x0.113)	3/6
		FOR 1/2: 8d COMMON (2-1/2x0.131)	
HPS	7/16" HARDBOARD PANEL SIDING	0.092 DIA, 0.225 HEAD, 1-1/2 PENETRATION	4/8

a. EXCEPT FOR METHOD GB, 1/2" GYPSUM WALL BOARD SHALL BE INSTALLED OPPOSITE SHEATHING AND FASTENED AT 16" O.C. WITH MIN 1-1/4 TYPE W SCREWS OR AT 8" O.C. WITH ONE OF THE FOLLOWING: 13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD.  
b. ALL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON MINIMUM 1 1/2" STUDS OR BLOCKING.  
c. STAPLES SHALL BE MINIMUM 16ga AND CROWN WIDTH OF 7/16, UNO.  
d. NAIL IS A GENERAL DESCRIPTION AND MAY BE T-HEAD, ROUND HEAD, OR MODIFIED ROUND HEAD.  
e. 4x8 OR 4x9 PANELS SHALL BE APPLIED VERTICALLY. LONGER PANELS MAY BE APPLIED HORIZONTALLY.

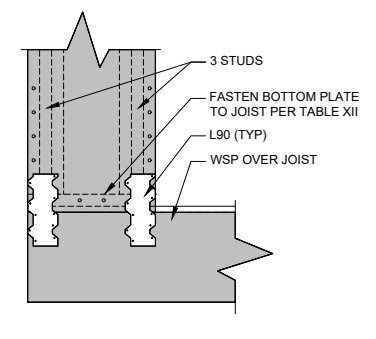
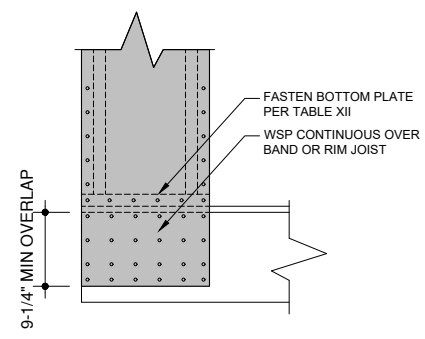
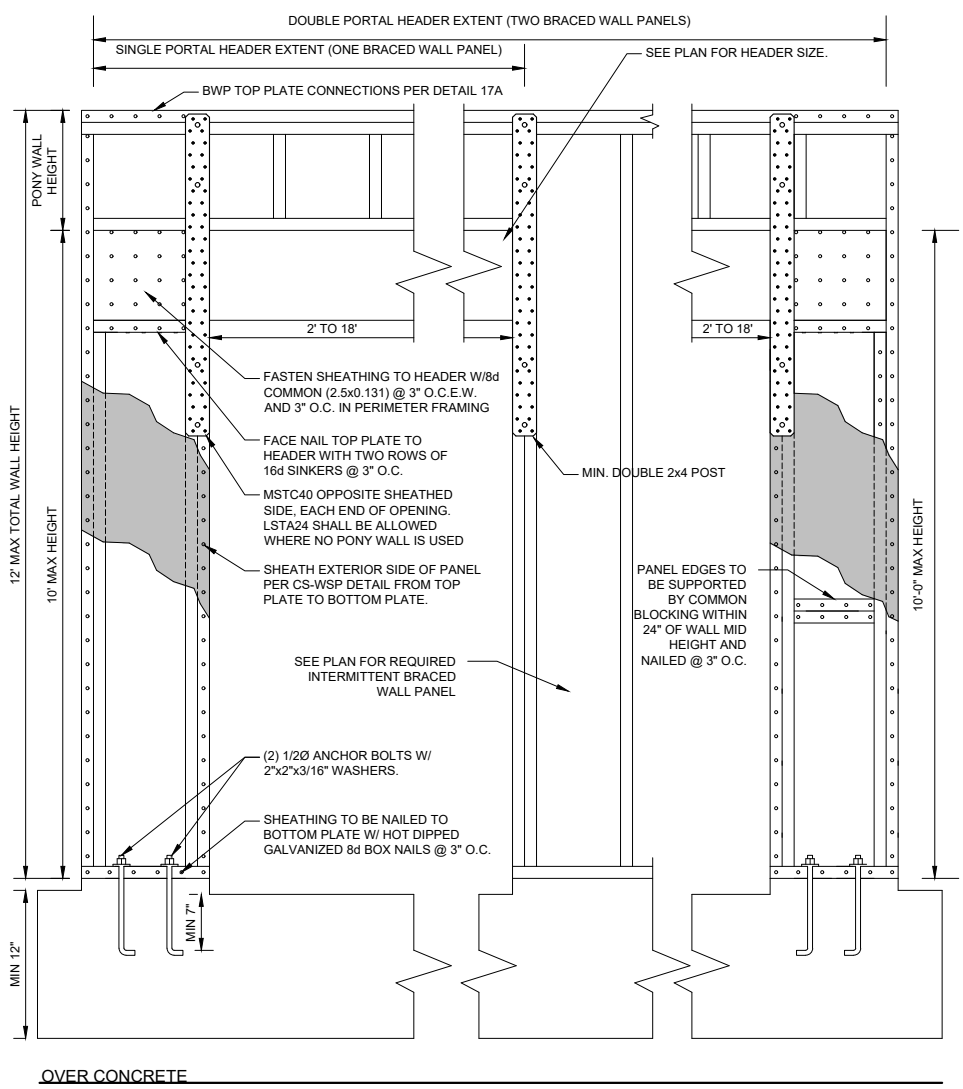
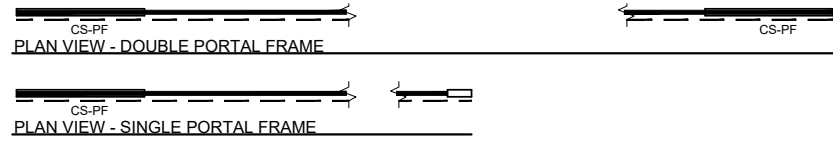
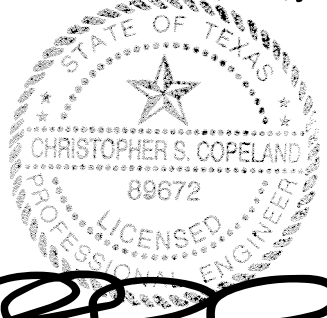


**C** ABW ALTERNATE BRACED WALL PANEL

**18 INTERMITTENT BRACING METHODS**

LOT: BLOCK: SECTION: PHASE: BY: ALE  
 CE:22101559  
 18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 9 DESIGN CUSTOM BUILDERS  
 2-26-21



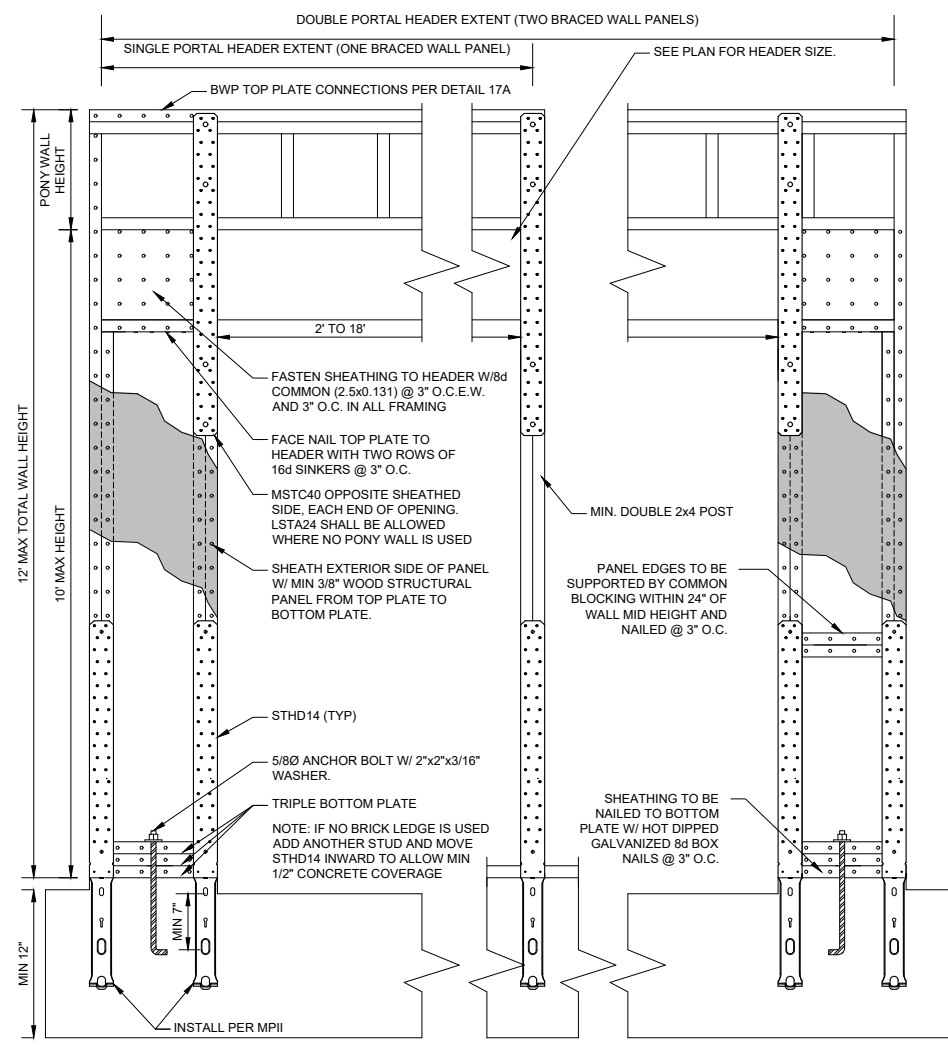
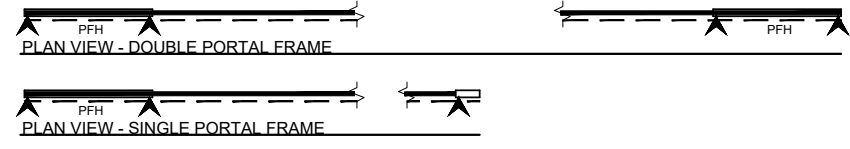


OVER WOOD FLOOR - OVERLAP OPTION

OVER WOOD FLOOR - L90 OPTION

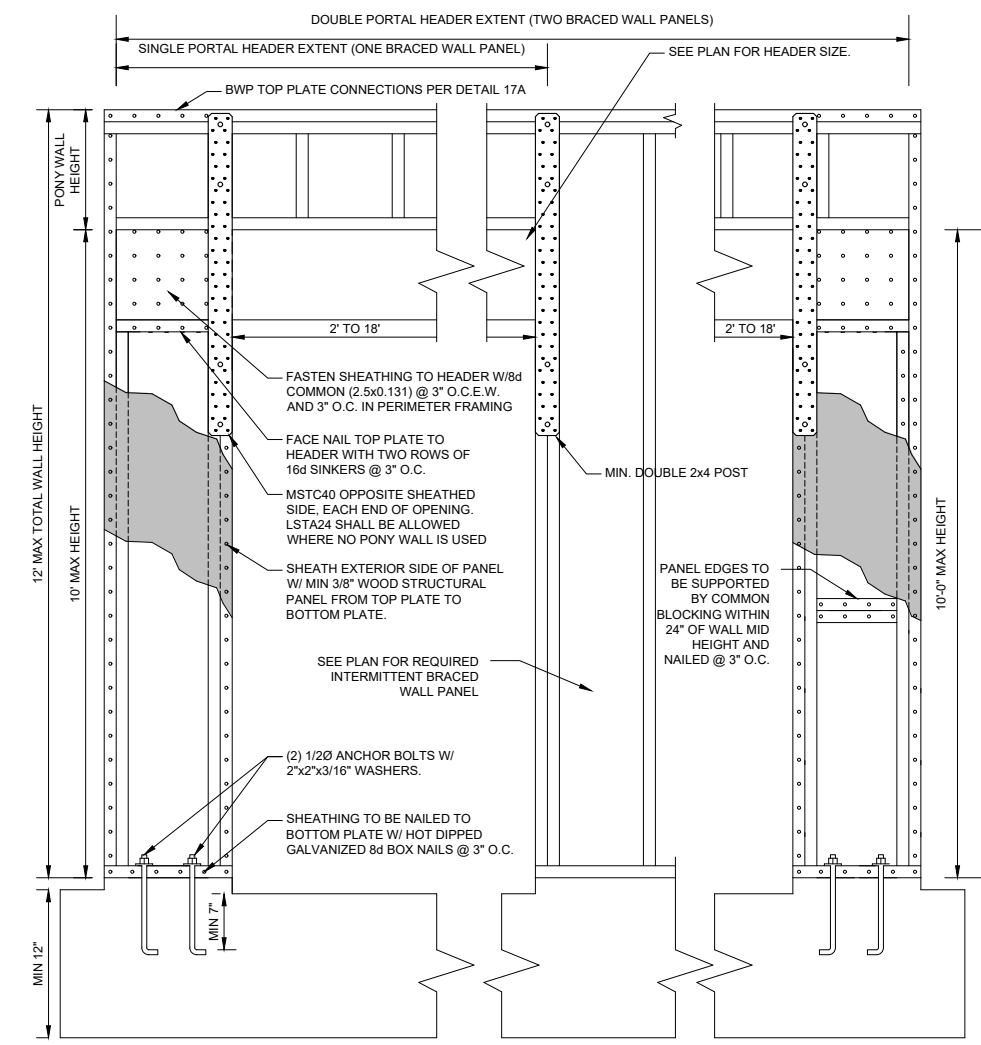
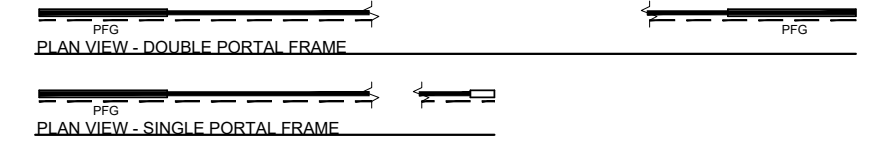
18 CS-PF CONTINUOUS SHEATHING WITH PORTAL FRAME

19 CONTINUOUS SHEATHING BRACING METHODS



D PFH PORTAL FRAME WITH HOLD DOWNS

18 INTERMITTENT BRACING METHODS



E PFG PORTAL FRAME WITHOUT HOLD DOWNS

LOT: BLOCK: 18402 LAKELAND DRIVE

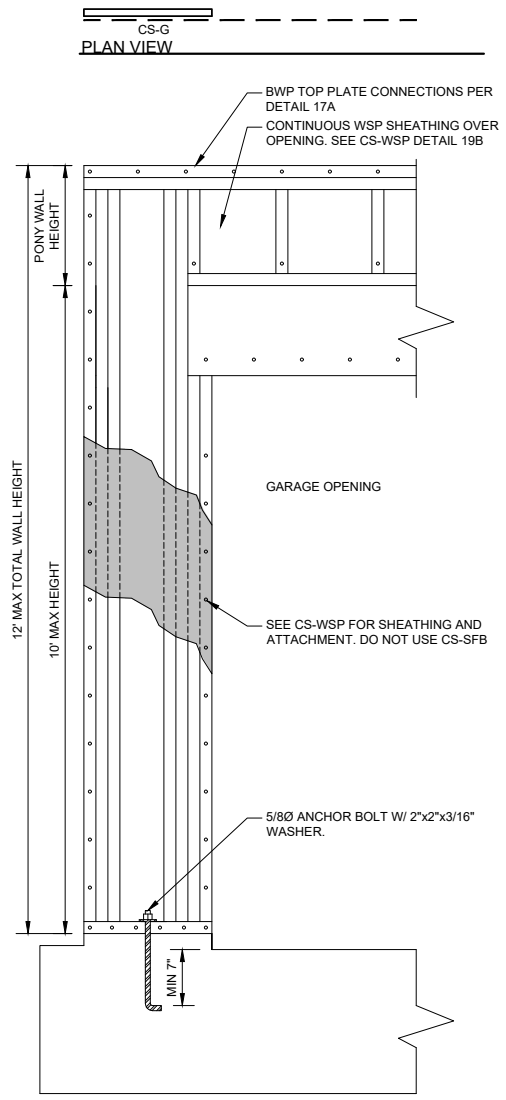
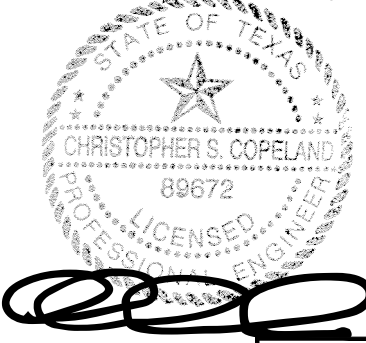
SECTION: PHASE: LAGO VISTA

CE:22101559 BY: ALE POINT VENTURE

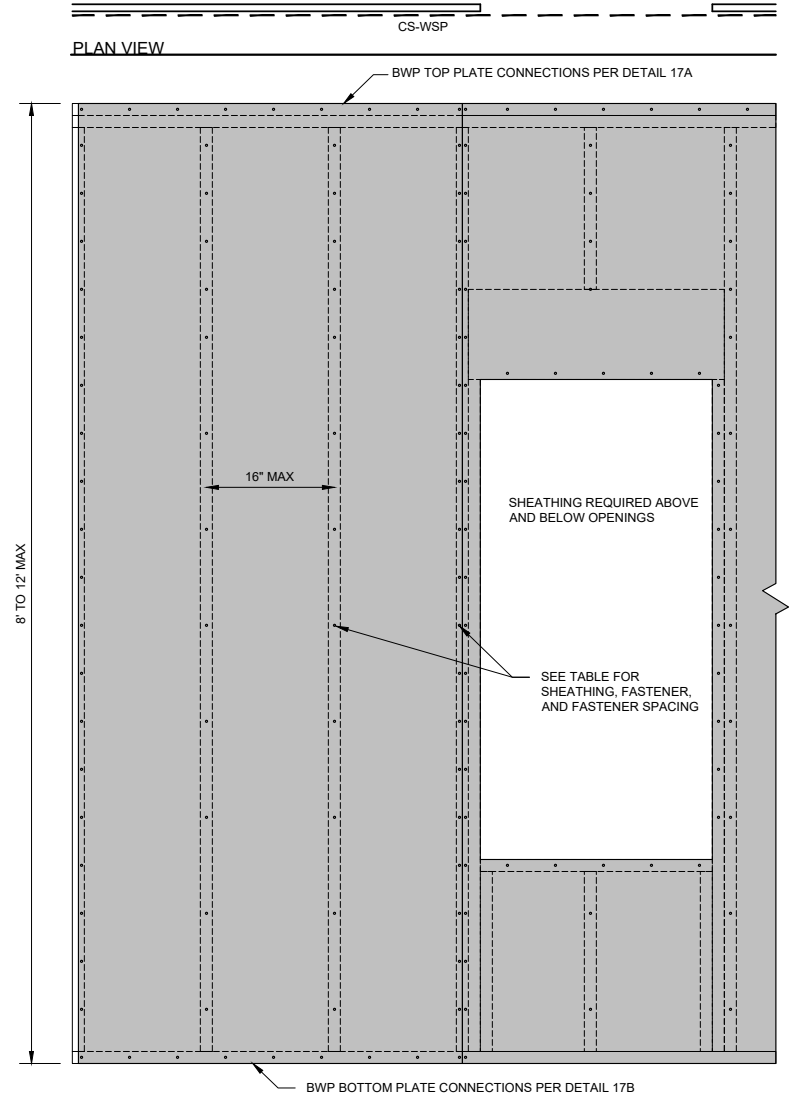
2-26-21 9 DESIGN CUSTOM BUILDERS



03.02.21



**B** CS-G CONTINUOUS SHEATHING AT GARAGE



**C** CS-WSP AND CS-SFB CONTINUOUS SHEATHING

PRESCRIPTIVE BRACING CONTINUOUS SHEATHING CONSTRUCTION <sup>a,b</sup>			
BRACING METHOD	SHEATHING	FASTENER <sup>c</sup>	SPACING EDGE/FIELD
CS-WSP	EXTERIOR 3/8" WOOD STRUCTURAL PANEL	6d COMMON (2.0x0.113)	6/12
	EXTERIOR 7/16" WOOD STRUCTURAL PANEL	8d COMMON (2.5x0.131)	6/12
	INTERIOR 3/8" OR 7/16" WOOD STRUCTURAL PANEL	6d COMMON (2x0.113)	6/12
		15 ga 1-3/4	4/8
		2-1/4x(0.097-0.099) NAIL <sup>d</sup>	3/6
0.113" RED THERMOPLY	16 ga 1-3/4	3/6	
CS-SFB	1/2" OR 25/32" STRUCTURAL FIBERBOARD (QUIETBRACE)	1-1/2x0.12 GALV. ROOFING NAILS (1-3/4 FOR 25/32"); 8d COMMON (2-1/2x0.131)	3/6

a. 1/2" GYPSUM WALL BOARD SHALL BE INSTALLED OPPOSITE SHEATHING AND FASTENED AT 16" O.C. WITH MIN 1-1/4 TYPE W SCREWS OR AT 8" O.C. WITH ONE OF THE FOLLOWING: 13 ga 1-3/8, 19/64 HEAD; 1-1/4x0.098, ANNULAR RINGED; 5d COOLER NAIL, 1-5/8x0.086, 15/64 HEAD; GYPSUM NAIL, 1-5/8x0.086, 9/32 HEAD

b. ALL JOINTS OF PANEL SHEATHING SHALL OCCUR OVER AND BE FASTENED TO COMMON MINIMUM 1 1/2" STUDS OR BLOCKING.

c. STAPLES SHALL BE MINIMUM 16ga AND CROWN WIDTH OF 7/16, UNO.

d. NAIL IS A GENERAL DESCRIPTION AND MAY BE T-HEAD, ROUND HEAD, OR MODIFIED ROUND HEAD.

19 CONTINUOUS SHEATHING BRACING METHODS

INSPECTION: 512.850.5089 DESIGN: 512.800.9200  
 Texas Firm # F-17724  
**COPELAND ENGINEERING**  
 1701 COTTONWOOD CREEK TRAIL  
 SUITE 180A CEDAR PARK, TX 78613

LOT: BLOCK:  
 SECTION: PHASE:  
 CE:22101559 BY: ALE  
 18402 LAKELAND DRIVE  
 LAGO VISTA  
 POINT VENTURE  
 2-26-21  
 9 DESIGN CUSTOM BUILDERS

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 T-22-20 2ND FLR, 1ST FLR  
 REV, SECTION L/R FRNT & RT,  
 M/B, ROUGH 3D's  
 T-24-20 OPT. ELEVATOR  
 T-31-20 OPT. ELEVATOR B  
 8-7-20 ELEVATIONS, INT  
 DETAILS, ROOF, JOISTS  
 8-24-20 MICRO AT ISLAND  
 NO ELEV WIND, D/R CHAND  
 2ND FL C. JOISTS, CHECK

### WINDOW SCHEDULE

PRODUCT CODE	SIZE	COUNT
2070FG-TEMP	2'-0" x 1'-0"	2
4016HS	4'-0" x 1'-6"	1
2040SH	2'-0" x 4'-0"	1
3060SH	3'-0" x 6'-0"	17
4060SH	4'-0" x 6'-0"	2

### DOOR SCHEDULE

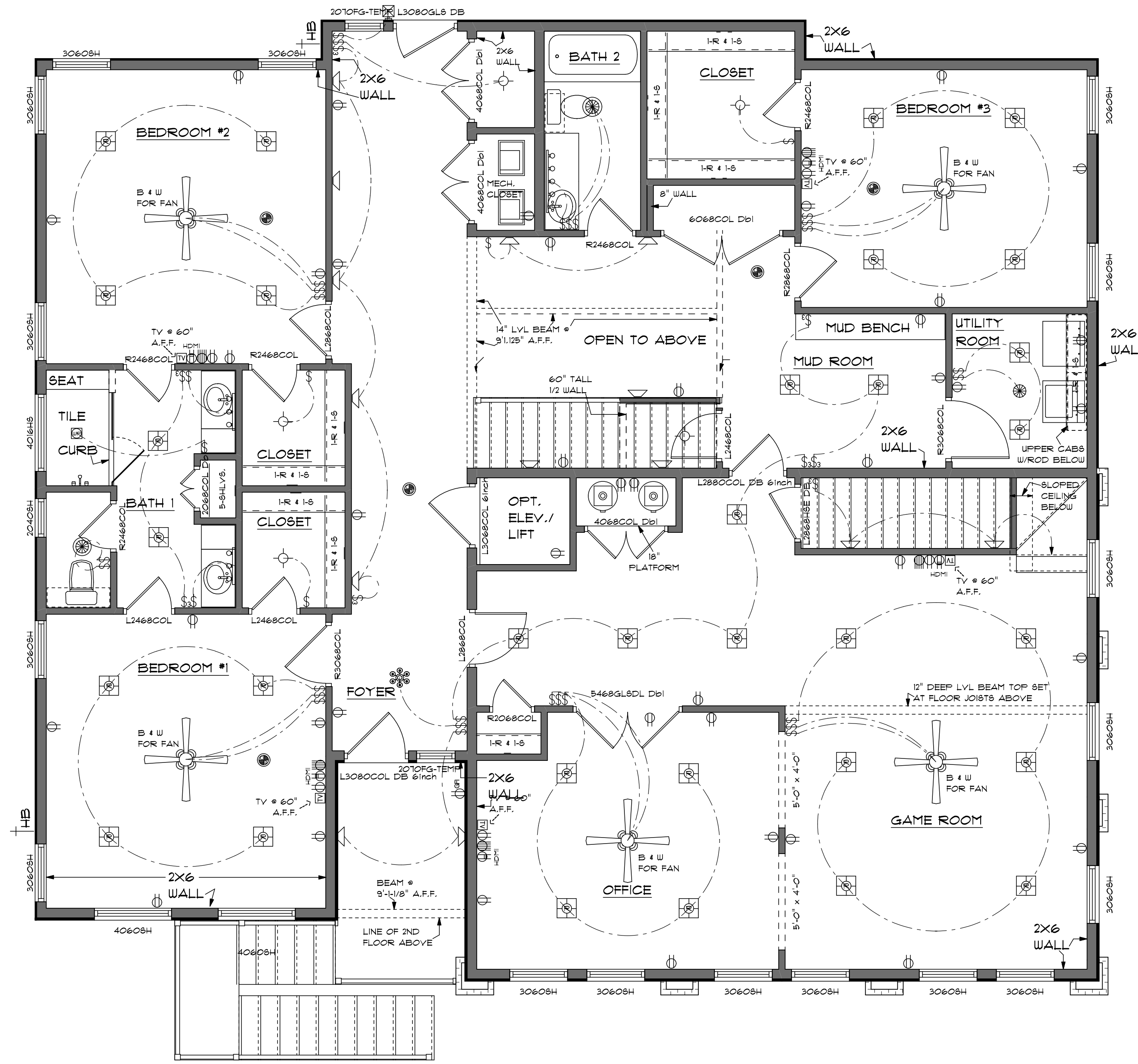
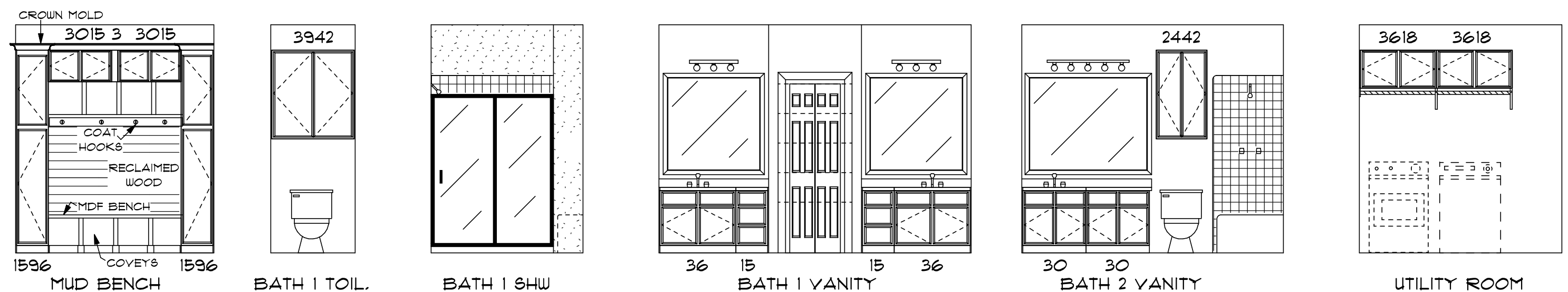
PRODUCT CODE	SIZE	COUNT
L288COL DB 6inch	2'-8" x 8'-0"	1
L308COL DB 6inch	3'-0" x 8'-0"	1
L308OGLS DB	3'-0" x 8'-0"	1
L286HSE DB	2'-8" x 6'-8"	1
2068COL DBI	2'-0" x 6'-8"	1
4068COL DBI	4'-0" x 6'-8"	3
6068COL DBI	6'-0" x 6'-8"	1
L3068COL 6inch	3'-0" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	4
R2868COL	2'-8" x 6'-8"	1
R3068COL	3'-0" x 6'-8"	2
L2468COL	2'-4" x 6'-8"	3
L2868COL	2'-8" x 6'-8"	2
R2068COL	2'-0" x 6'-8"	1
R2468COL	2'-4" x 6'-8"	1
5468GL8DL DBI	5'-4" x 6'-8"	1

#### FRAMING NOTES: (UNLESS NOTED OTHERWISE: U.N.O.)

- JOIST SPANS BASED ON SOUTHERN YELLOW PINE SPAN TABLES (2-15-15)
- CONTRACTOR WILL VERIFY ALL SPANS WITH TABLE OR ENGINEER
- ALL STUDS SPACING AND HEIGHTS TO ACCOUNT FOR ROOF AND FLOOR LOADS AND CONFORM TO 2012 IRC TABLE R602.3.1
- ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1/4" LET-IN AT EACH END AND AT 20" MAX. SPACING BETWEEN WALL ENDS. ALL FIRST FLOOR WALL PLATES TO BE PRESSURE TREATED LUMBER.
- ALL CEILING JOISTS, RAFTERS AND HEADERS TO BE NO. 2 S.Y.P. BEAMS TO BE SPECIFIED BY STRUCTURAL ENGINEER.
- ROOF FRAMING: THE MAXIMUM UNSUPPORTED SPAN FOR RAFTERS SHALL CONFORM TO 2012 IRC TABLE R802.3.1(2). RAFTERS ARE TO BE SUPPORTED, WHEN REQUIRED, BY CONTINUOUS PERLIN WITH NOMINAL SIZE EQUAL TO THE RAFTERS THEY SUPPORT, BRACED DOWN TO LOAD BEARING WALLS 14" O.C. AND MAXIMUM ANGLE FOR BRACES + 45 DEGREES, MAX. UNSUPPORTED LENGTH FOR BRACES 8'. PROVIDE 2X6 COLLAR TIES @ 48" O.C. IN UPPER THIRD OF RAFTERS.
- ROOF LIVE LOAD + 20 PSF.
- ROOF DECKING SHALL BE 7/16" O.S.B. WITH 1/4" CLIPB.
- ALL JOIST FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U JOIST METAL HANGERS.
- ALL BEAM FRAMING TO WALLS SHALL BE SUPPORTED BY A MINIMUM OF 2X6X4 OR 2X6X6 STUDS.
- HEADERS SHALL CONFORM TO 2012 IRC TABLE R502.3.1(2) WITH O.S.B. IN BETWEEN (U.N.O.).
- STUD WALLS 12" OR HIGHER SHALL BE 2X6, 2X4 OR 4X4 STUDS @ 16" O.C. TWO FLOORS ABOVE SHALL BE 2X6, 2X4 OR 4X4 STUDS SPACED PER 2012 IRC TABLE R602.3.1
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- CONTRACTOR TO PROVIDE STEEL LINTELS ABOVE ALL OPENINGS WITH BRICK ABOVE.
- ONE HOUR RATED GYPSUM BOARD UNDER STAIRS.
- CROSS VENTILATION AT ENCLOSED ATTICS.
- ELECTRICAL CONTRACTOR TO LOCATE 110V OUTLET WITHIN 25' OF A/C COMPRESSOR (GFI IF NOT IN SCHEM).
- FIREPLACE CHIMNEY TO BE 2'-0" HIGHER THAN ANY STRUCTURE WITHIN 10'-0".
- BALLUSTERS AT 4' MAX. CLEAR SPACING.
- PREFAB FIREPLACE TO BE UBC APPROVED. MANUFACTURERS MANUAL TO BE PROVIDED TO FIELD INSPECTOR.
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- WINDOWS IN EACH ROOM SHALL EXCEED 10% OF FLOOR AREA OF THE ROOM.
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- MAXIMUM HEIGHT OF WINDOW SILL IN BEDROOMS 44" AFF
- RAISE WATER HEATERS IN GARAGES 18" AFF
- ALL WINDOWS TO BE LOW-E GLASS.
- SMOKE DETECTORS TO BE WIRED IN SERIES W/ BATTERY BACKUP.
- ALL EXTERIOR SOLE PLATES TO BE TREATED WITH 1/2" ANCHOR BOLTS AT MINIMUM 6'-0" O.C.
- THIS STRUCTURE TO BE BUILT TO SUSTAIN 30 M.P.H. WIND CRITERIA AS PER SECTION R301.2(1) AND TABLE R301.2(4)
- MASONRY VENEER ANCHORAGE AT 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY WITH WEEP HOLES MAXIMUM 33" O.C. ANCHORAGE SHALL NOT SUPPORT MORE THAN 3.29 S.F. OF WALL AREA
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ELECTRICAL	COUNT	SYMBOL
Block and Wire For Fan	5	B 4 W FOR FAN
CO2 Sm Detector	5	☉
Candellier	1	☼
Carriage Light 2	1	⊗
Cat 5	5	Ⓜ
Ceiling Fan w/Lite	5	☼
Ceiling Globe	5	☉
HDMI	5	Ⓜ
Outlet 110	42	Ⓜ
Outlet 220	4	Ⓜ
Outlet GFI	1	Ⓜ
Recessed Can	32	Ⓜ
Recessed Can WP	1	Ⓜ
Switch	34	Ⓜ
Switch 3 Way	8	Ⓜ
TV	5	Ⓜ
Vanity 3 Bulb	2	Ⓜ
Vanity 5 Bulb	1	Ⓜ
Vent Fan	1	Ⓜ
Vent Light	2	Ⓜ
Wall Sconce	14	Ⓜ

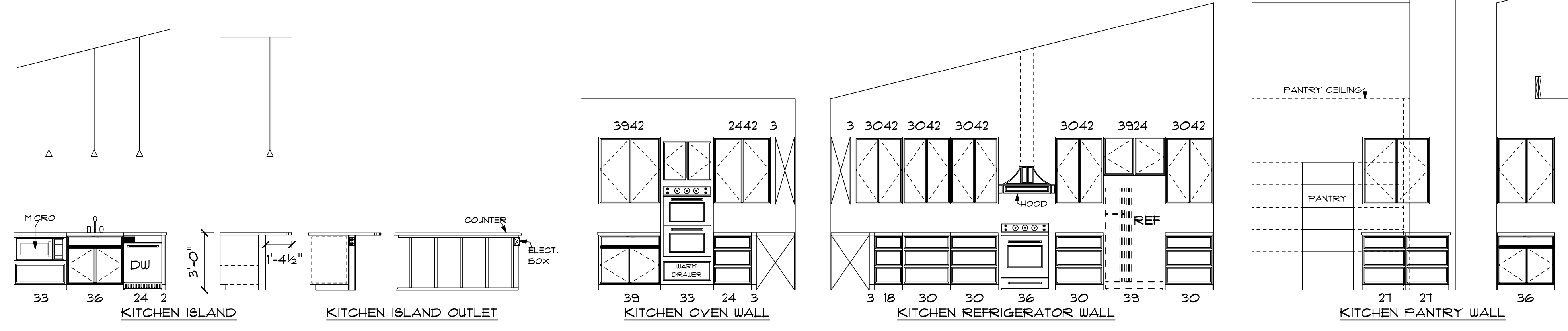
**Preferred Home Design**  
 6318 Stable Brook Dr.  
 San Antonio, TX 78249  
 Ph: 210-204-0549  
 Email: phdmail@att.net

**SQUARE FOOTAGES:**

FIRST FLOOR	1703
GAME ROOM	802
SECOND FLOOR	1710
TOTAL LIVING	4215
FRONT PORCH	79
GARAGE	836
<b>TOTAL COVERAGE</b>	<b>5129</b>
BALCONY	838

PLAN: 3503 CONSTITUTION  
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 DATE: August 24, 2020  
 LOT: 50 SECT: 1  
 SUBDIVISION: POINT VENTURE  
 ADDRESS: 18402 LAKELAND DRIVE  
 LAGO VISTA, TX 78645

1ST FLOOR OPT. ELEVATOR ELECTRIC 1/4" = 1' ON 24" X36" PAPER



**DOOR SCHEDULE**

PRODUCT CODE	SIZE	COUNT
L3068COL DB	3'-0" x 6'-8"	1
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I6068GLSLIDE XOOX 6IN	12'-5" x 6'-8"	1
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2468COLPKT	2'-2" x 6'-8"	2

**WINDOW SCHEDULE**

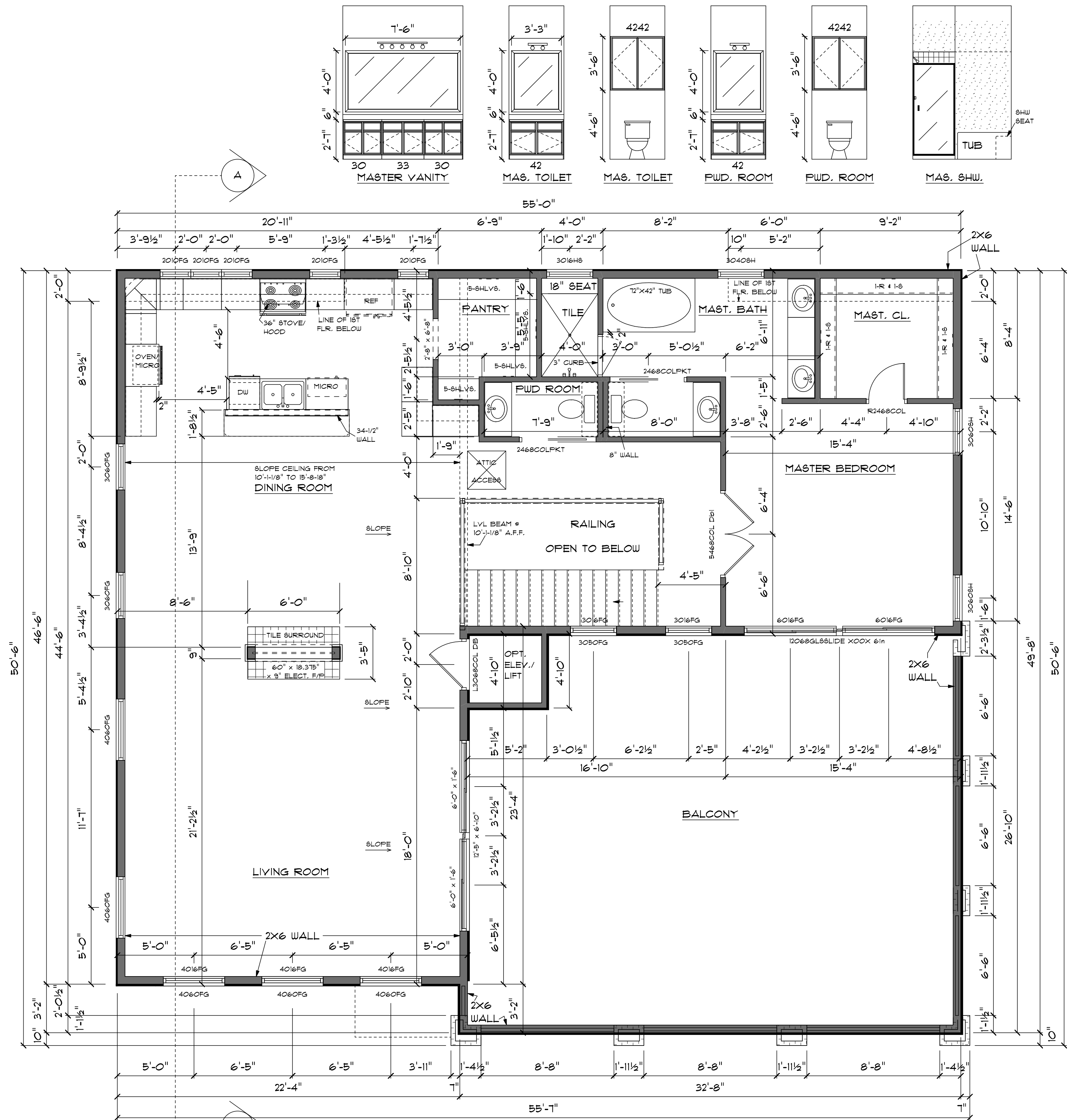
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2010FG	2'-0" x 1'-0"	5
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4060FG	4'-0" x 6'-0"	5
6016FG	6'-0" x 1'-6"	4
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**2ND FLOOR OPT. ELEVATOR**

1/4" = 1' ON 24" X 36" PAPER

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRTH RT, M/B, ROUGH 3D
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- B-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- B-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C. JOISTS, CHECK

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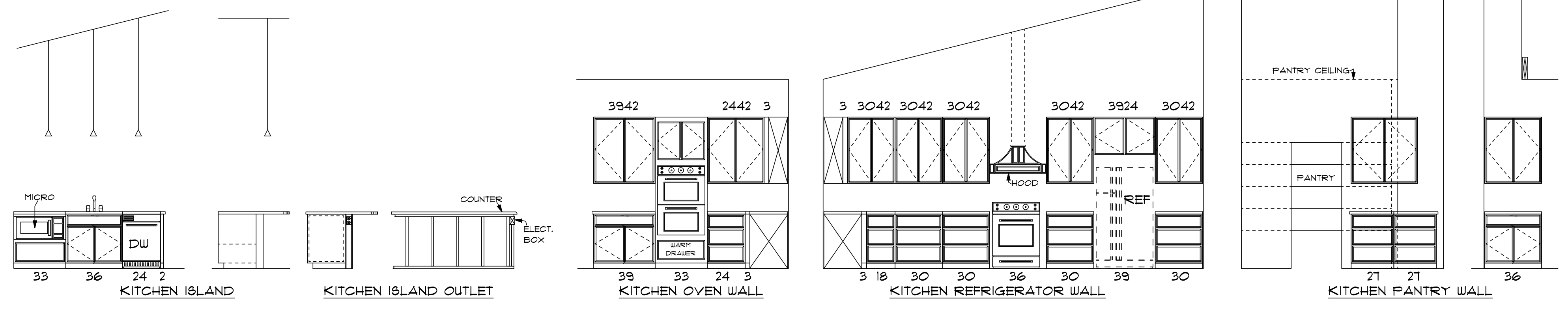
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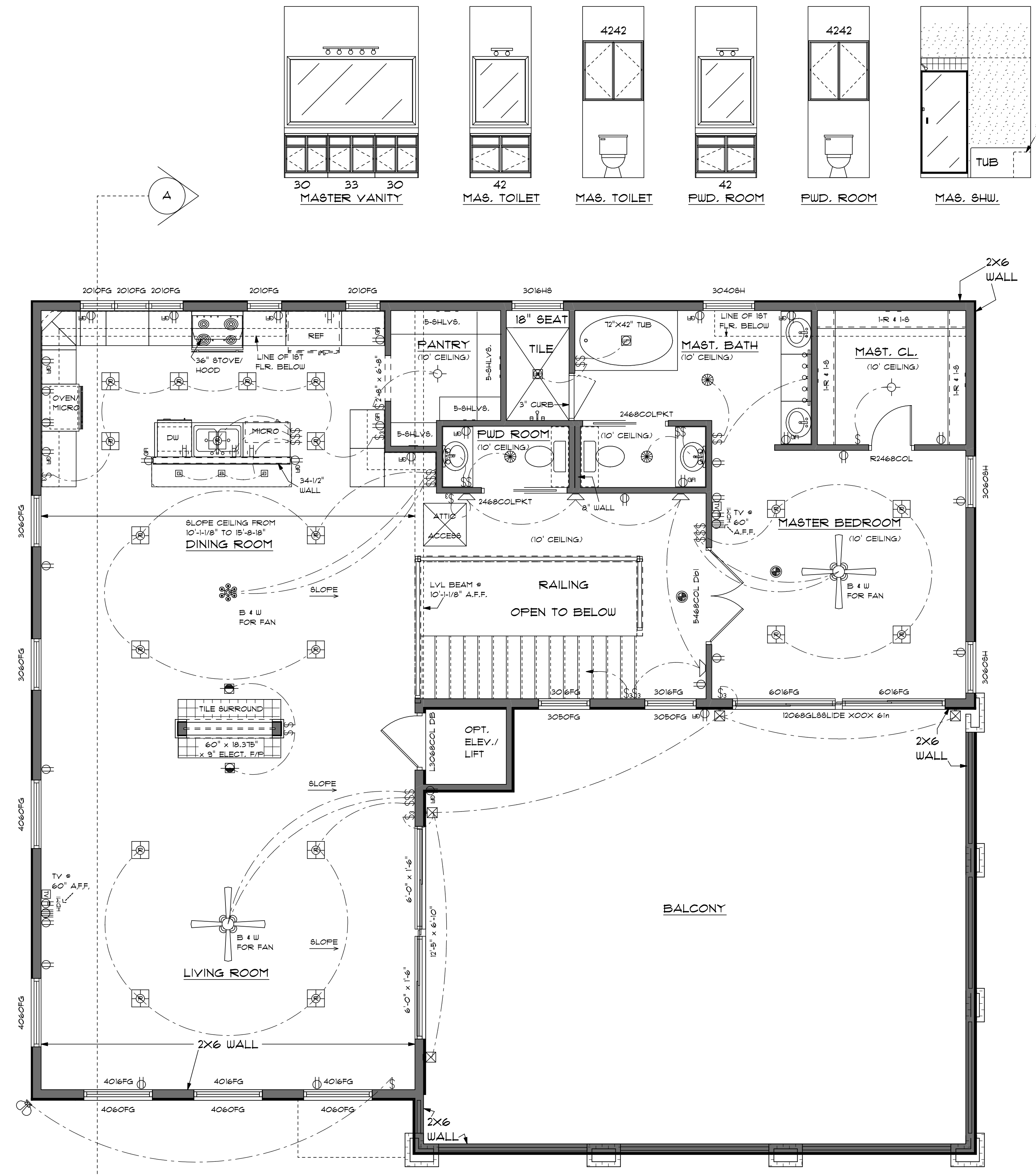
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- PROVIDE S.C. DOOR W/ AUTO CLOSER FROM GARAGE TO MAIN HOUSE
- WINDOWS IN EACH ROOM SHALL EXCEED 10% OF FLOOR AREA OF THE ROOM.
- WINDOWS WITHIN 24" RAD. OF VERTICAL EDGE OF EXTERIOR DOOR AND LESS THAN 60" ABOVE FLOOR SHALL HAVE SAFETY GLAZING.
- MAXIMUM HEIGHT OF WINDOW SILL IN BEDROOMS 44" AFF
- RAISE WATER HEATERS IN GARAGES 18" AFF
- ALL WINDOWS TO BE LOW-E GLASS.
- SMOKE DETECTORS TO BE WIRED IN SERIES W/ BATTERY BACKUP.
- ALL EXTERIOR SOLE PLATES TO BE TREATED WITH 1/2" ANCHOR BOLTS AT MINIMUM 6'-0" O.C.
- THIS STRUCTURE TO BE BUILT TO SUSTAIN 30 M.P.H. WIND CRITERIA AS PER SECTION R301.2(1) AND TABLE R301.2(4)
- MASONRY VENEER ANCHORAGE AT 24" O.C. HORIZONTALLY AND 18" O.C. VERTICALLY WITH WEEP HOLES MAXIMUM 33" O.C. ANCHORAGE SHALL NOT SUPPORT MORE THAN 3.25 S.F. OF WALL AREA
- ALL CHIMNEYS TO HAVE CRICKET ON BACK SIDE

ELECTRICAL	COUNT	SYMBOL
Block and Wire For Fan	3	B 4 U FOR FAN
CO2 Sm Detector	2	⊙
Candeller	1	⊙
Carriage Light 2	4	⊙
Cat 5	2	⊙
Ceiling Fan w/Lite	2	⊙
Ceiling Globe	2	⊙
Double Flood	1	⊙
HDMI	2	⊙
Outlet 110	19	⊙
Outlet GFI	17	⊙
Pendant Cube	3	⊙
Recessed Can	19	⊙
Recessed Can WP	2	⊙
Switch	22	⊙
Switch 3 Way	7	⊙
TV	2	⊙
Vanity 2 Bulb	2	⊙
Vanity 5 Bulb	1	⊙
Vent Fan	3	⊙
Wall Sconce	4	⊙



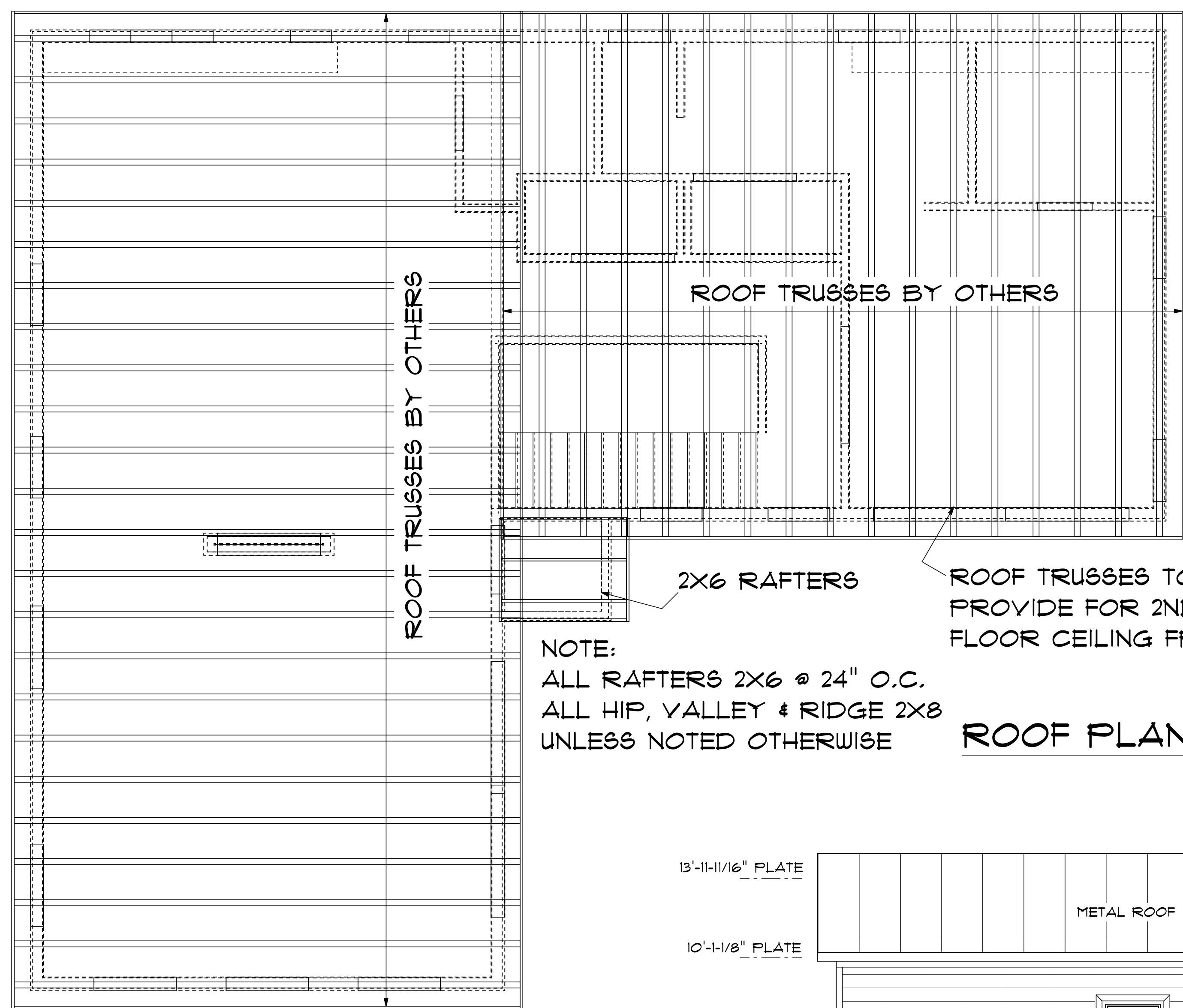
**Preferred Home Design**  
 6318 Stable Brook Dr.  
 San Antonio, TX 78249  
 Ph: 210-204-0549  
 Email: phd@mail@att.net

**SQUARE FOOTAGES:**

FIRST FLOOR	1703
GAMEROOM	802
SECOND FLOOR	1710
TOTAL LIVING	4215
FRY PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION  
 CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
 DATE: August 24, 2020  
 LOT: 50 SECT: 1  
 SUBDIVISION: POINT VENTURE  
 ADDRESS: 18402 LAKELAND DRIVE  
 LAGO VISTA, TX: 78645

2ND FLOOR OPT. ELEVATOR ELECTRIC 1/4" = 1' ON 24" X 36" PAPER

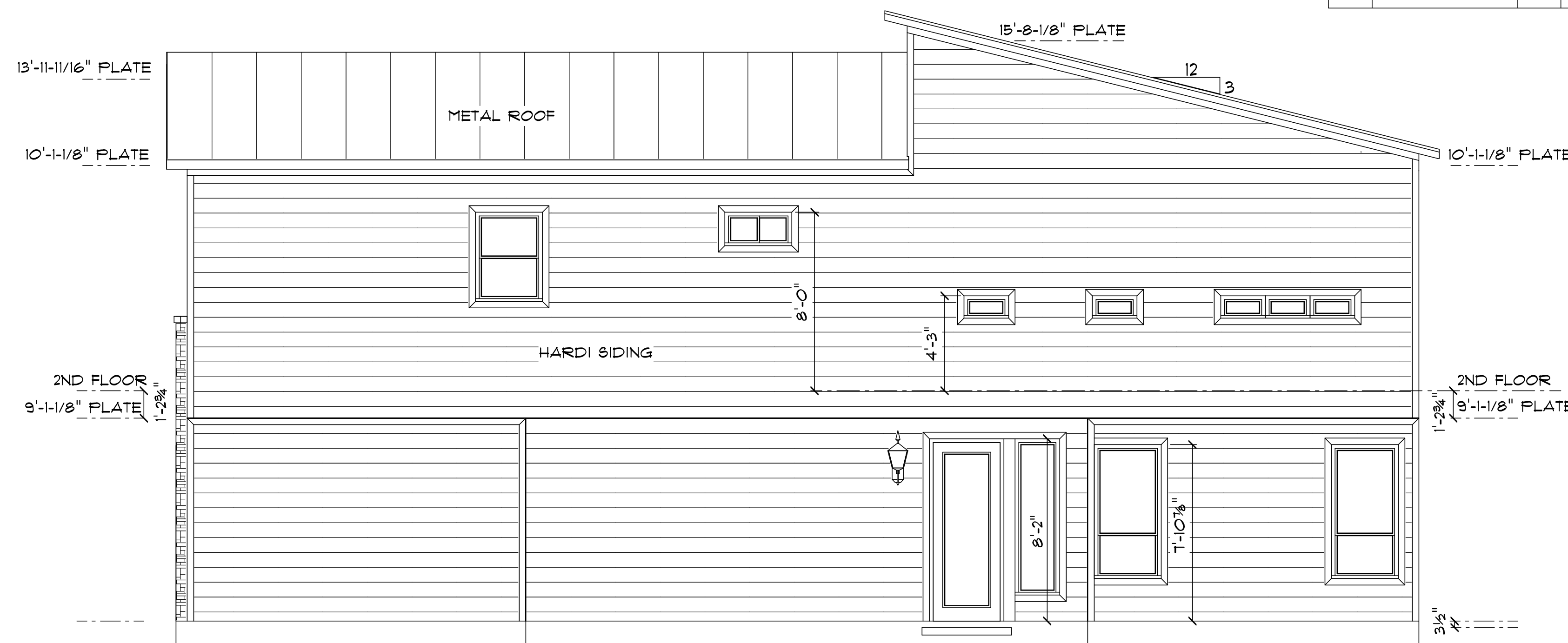


NOTE:  
 ALL RAFTERS 2X6 @ 24" O.C.  
 ALL HIP, VALLEY & RIDGE 2X8  
 UNLESS NOTED OTHERWISE

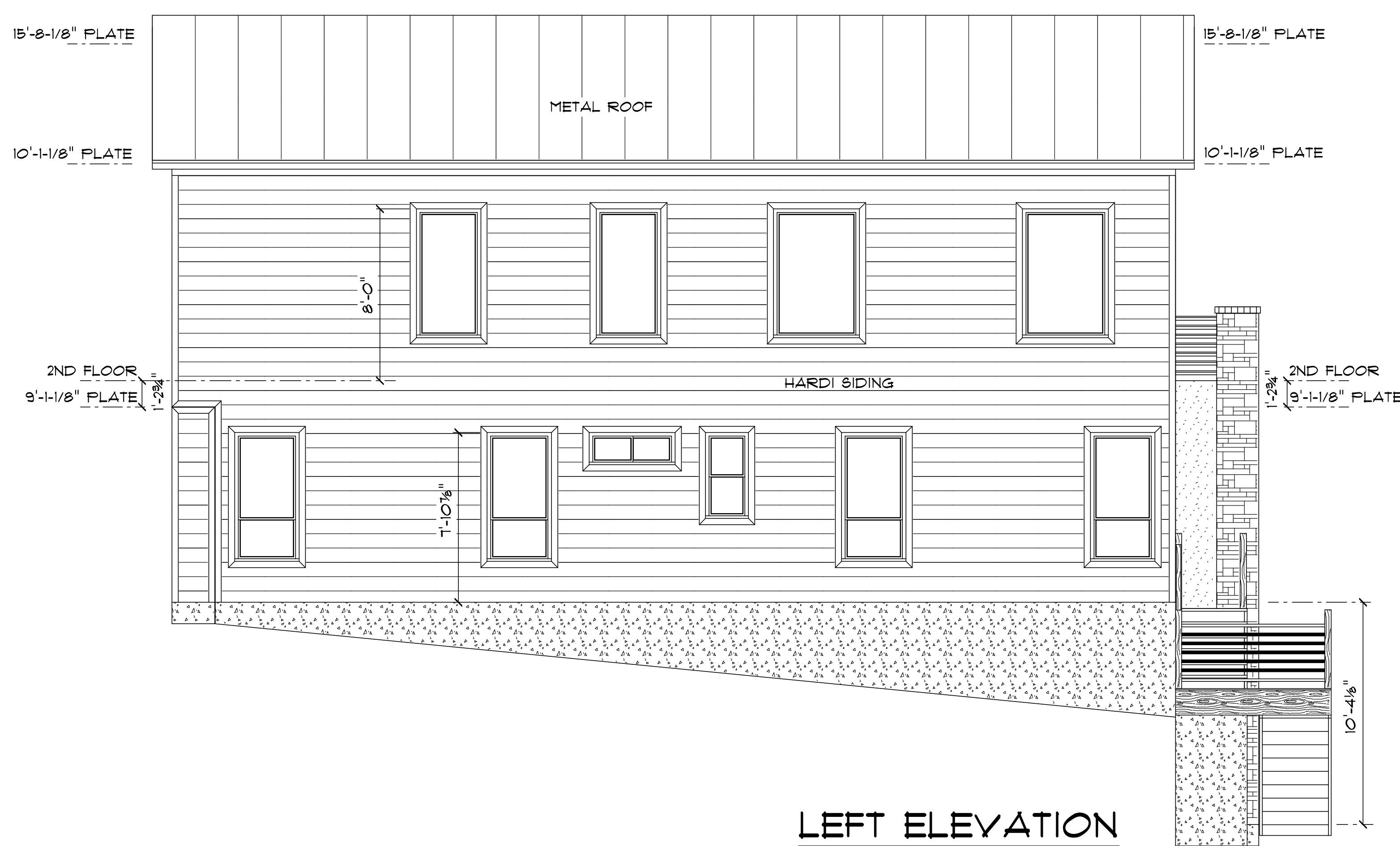
**ROOF PLAN**



**RIGHT ELEVATION**



**REAR ELEVATION**



**LEFT ELEVATION**



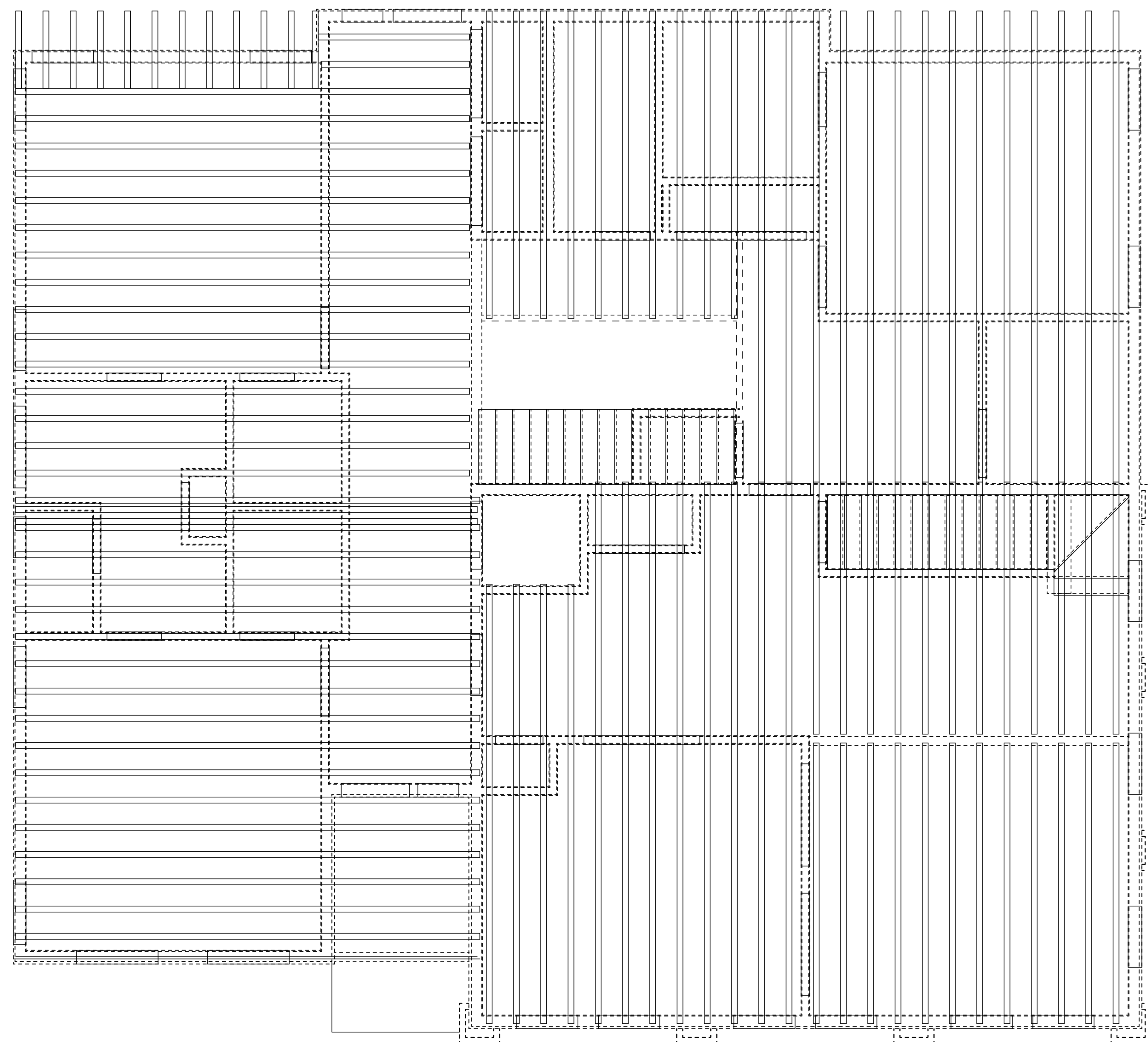
**FRONT ELEVATION 1/4" = 1' ON 36" X 42" PAPER**

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRRT RT, M/B, ROUGH 3D6
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- 8-1-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- 8-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL. C. JOISTS, CHECK

Preferred Home Design  
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 San Antonio, Tx. 78249  
 Ph: 210-204-0549  
 Email: phdmail@att.net

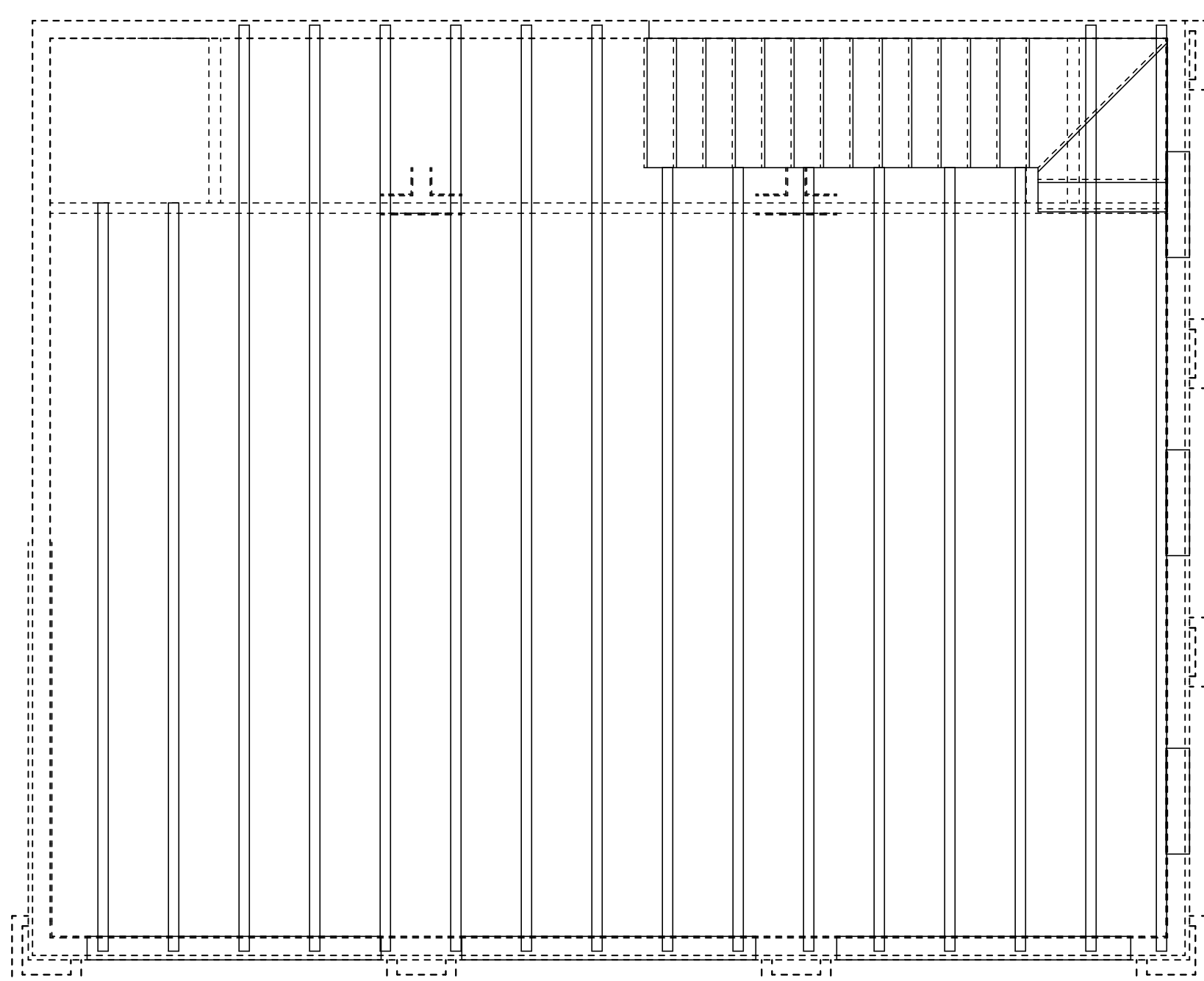
SQUARE FOOTAGES:	
FIRST FLOOR	1703
GAMEROOM	802
SECOND FLOOR	1710
TOTAL LIVING	4215
FRT PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION	CUSTOMER: 9 DESIGN CUSTOM BUILDERS
DATE: August 24, 2020	LOT: 50 SECT: 1
SUBDIVISION: POINT VENTURE	ADDRESS: 18402 LAKELAND DRIVE
	LAGO VISTA, TX. 78645



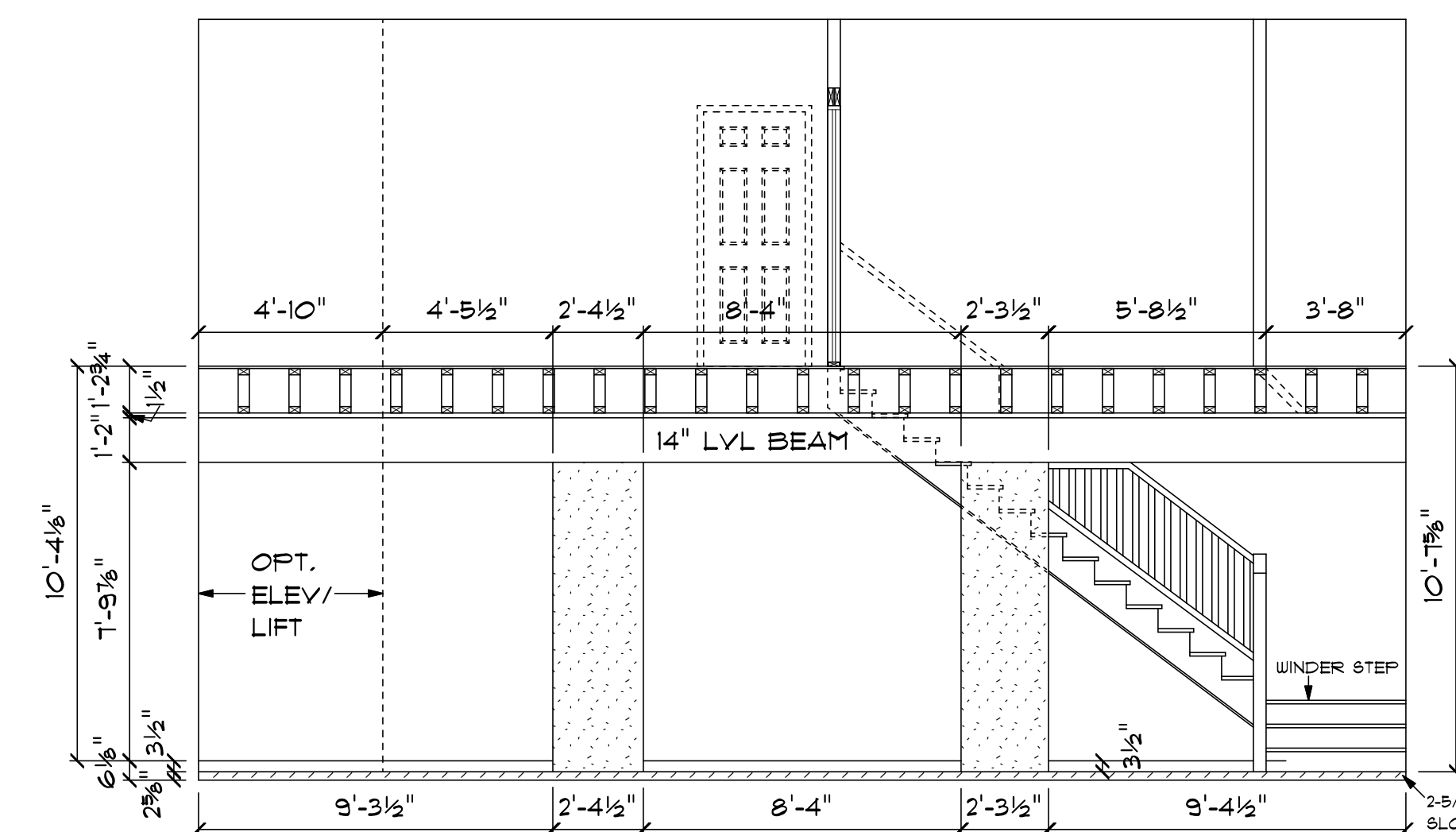
2ND FLOOR OF EL FLOOR JOISTS

NOTE:  
ALL FLOOR JOISTS 3-1/2" X 14" DEEP  
@ 16" O.C. UNLESS NOTED OTHERWISE



GAMEROOM FLOOR JOISTS

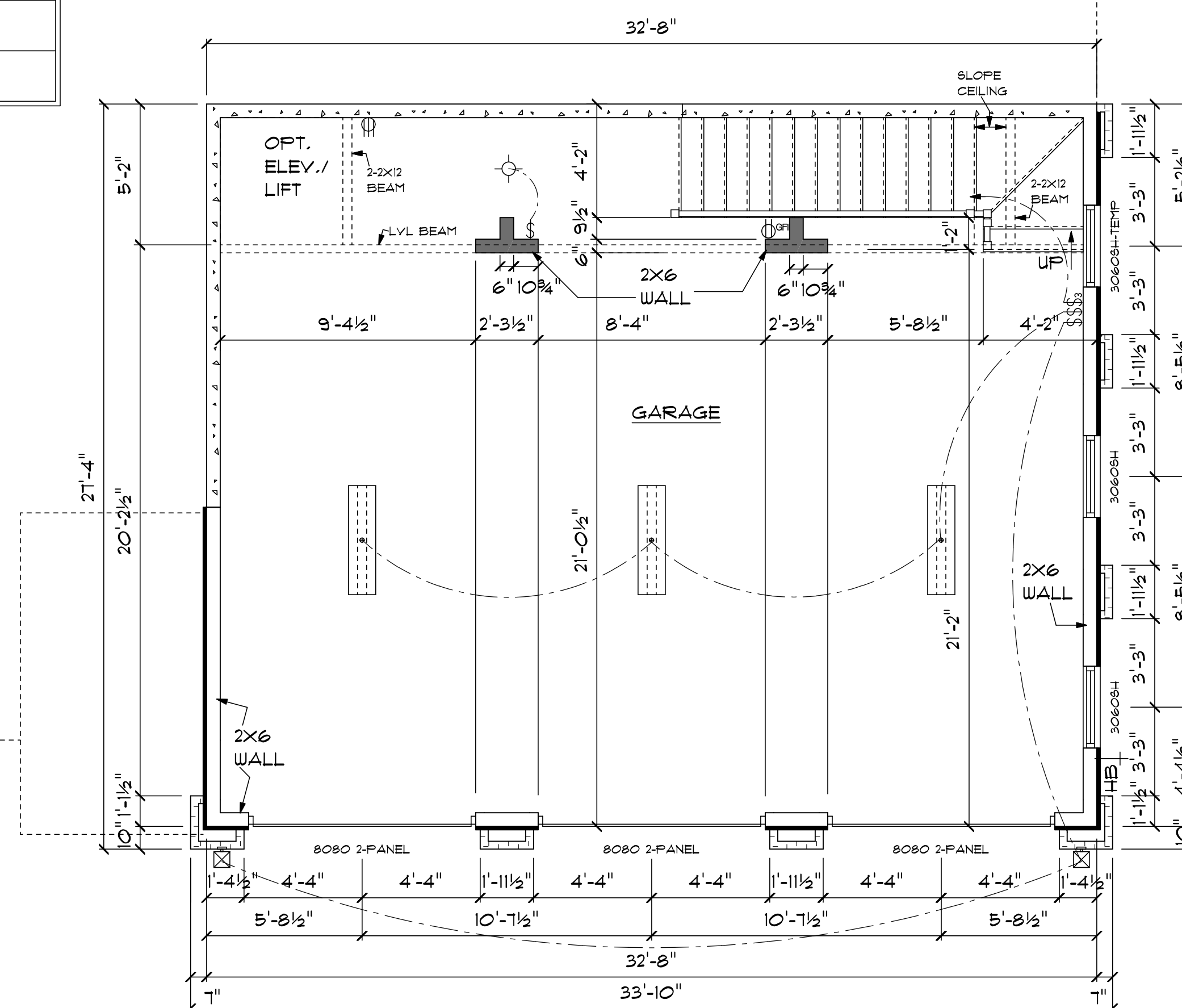
NOTE:  
ALL FLOOR JOIST 3-1/2" X 16" DEEP  
@ 16" O.C. UNLESS NOTED OTHERWISE



SECTION GARAGE OPT. LIFT

ELECTRICAL	COUNT	SYMBOL
Carriage Light 2	2	☒
Ceiling Globe	2	⊙
Flourescent 2 Bulb	3	⋯
Outlet 220	1	Ⓢ
Outlet GFI	1	Ⓢ
Switch	3	Ⓢ
Switch 3 Way	1	Ⓢ

PRODUCT CODE	SIZE	COUNT
306084-TEMP	3'-0" x 6'-0"	1
306084	3'-0" x 6'-0"	2



GARAGE wOPTION ELEVATOR 1/4" = 1' ON 24" X 36 PAPER

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRNT & RT, M/B, ROUGH 3D
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- 8-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- 8-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C, JOISTS, CHECK

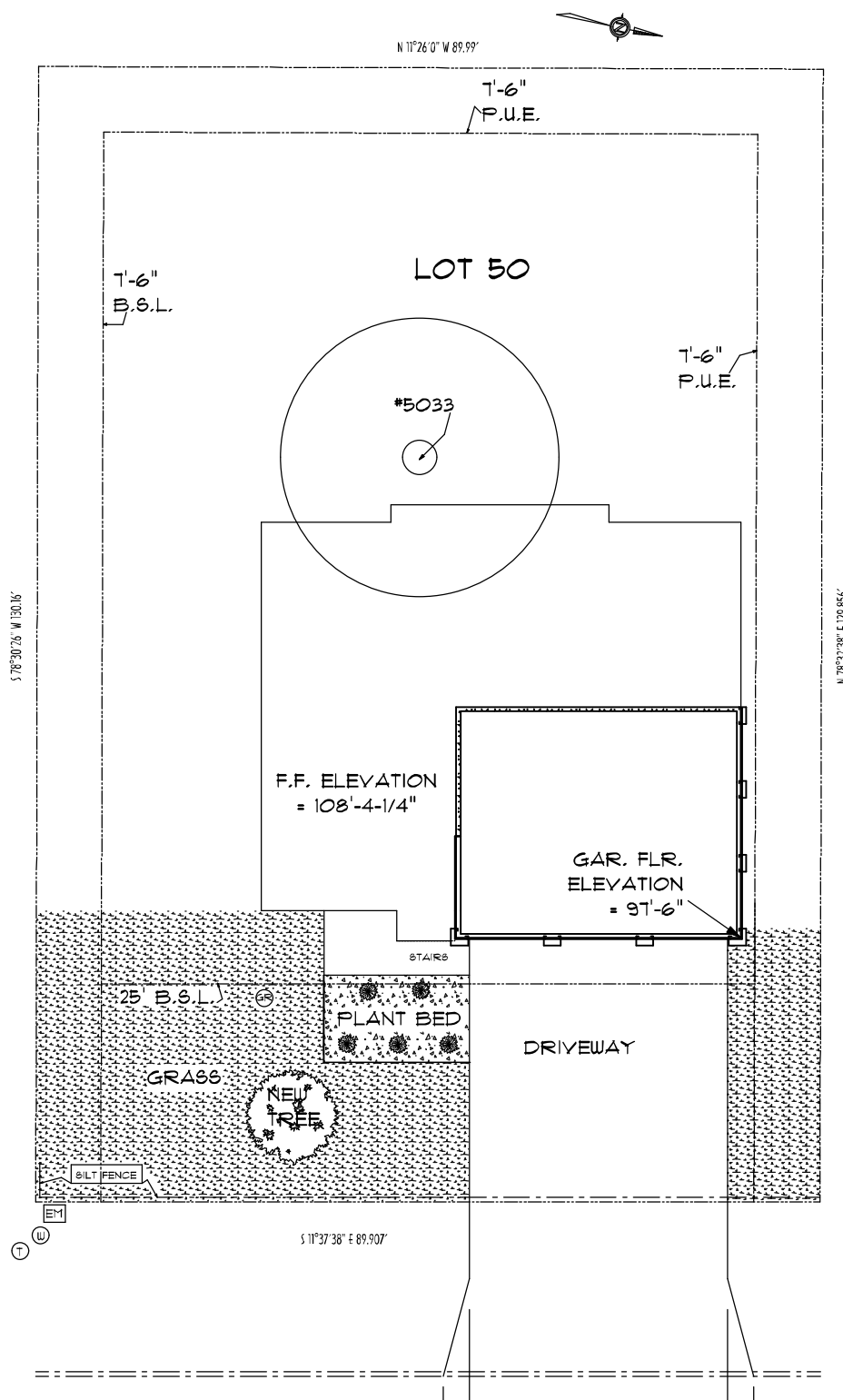
Preferred Home Design  
6318 Stable Brook Dr. San Antonio, Tx. 78249  
Ph: 210-204-0549  
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SQUARE FOOTAGES:

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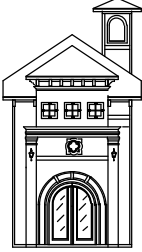
PLAN: 3503 CONSTITUTION  
CUSTOMER: 9 DESIGN CUSTOM BUILDERS  
DATE: August 24, 2020  
LOT: 50 SECT: 1  
SUBDIVISION: POINT VENTURE  
ADDRESS: 18402 LAKELAND DRIVE LAGO VISTA, TX. 78645

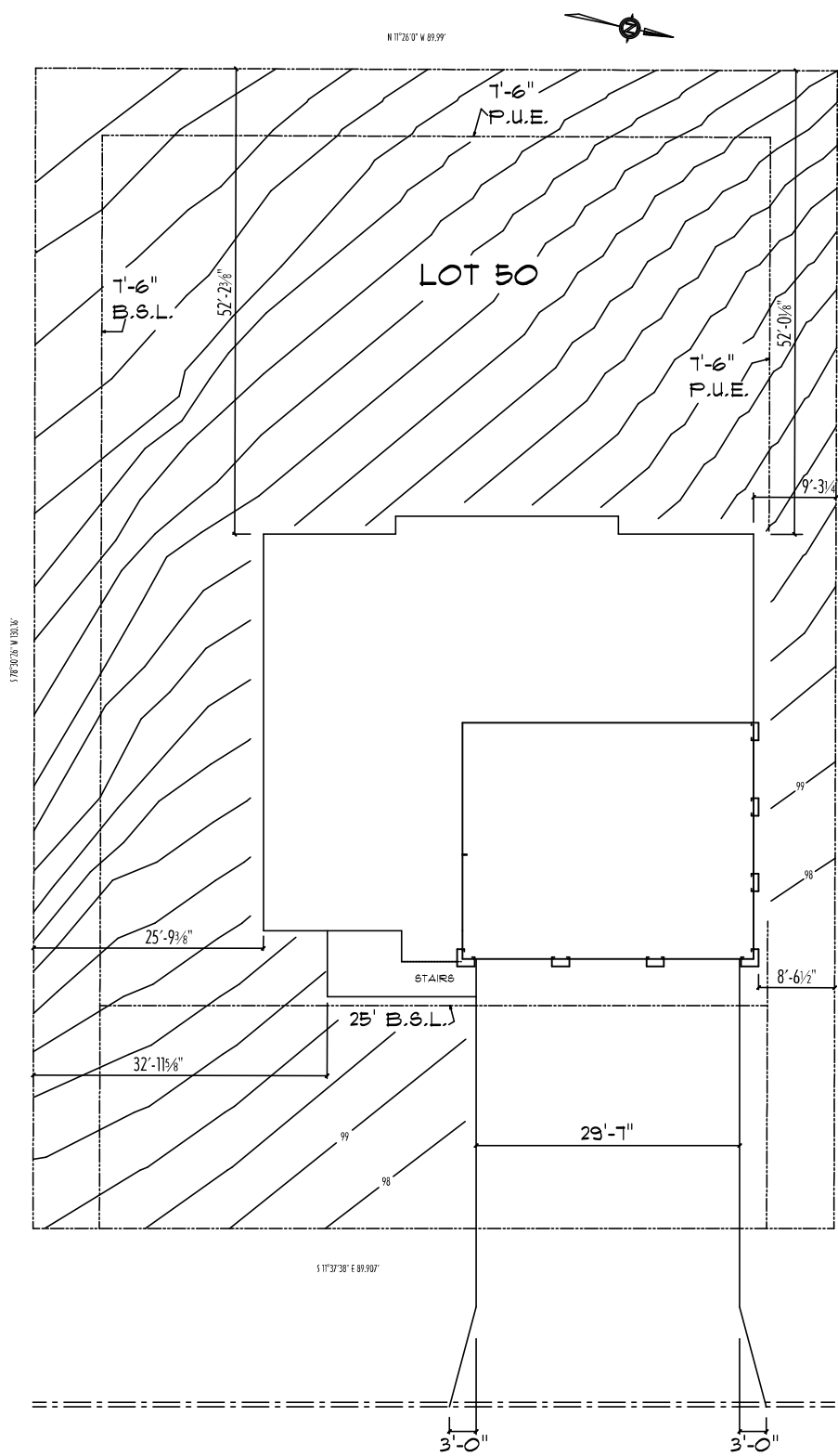
TREE TABLE				
TAG #	TYPE	DIAM.	C.R.Z.	NOTES
5033	LIVE OAK	16"	32'	



## 18402 LAKELAND DRIVE LANDSCAPE


FLATWORK: 1,612 SQ. FT.  
 IMPERVIOUS COVER: 3,621 SQ. FT.  
 LOT SIZE: 0.268 ACRES  
 NET LOT AREA: 8,073 SQ. FT.

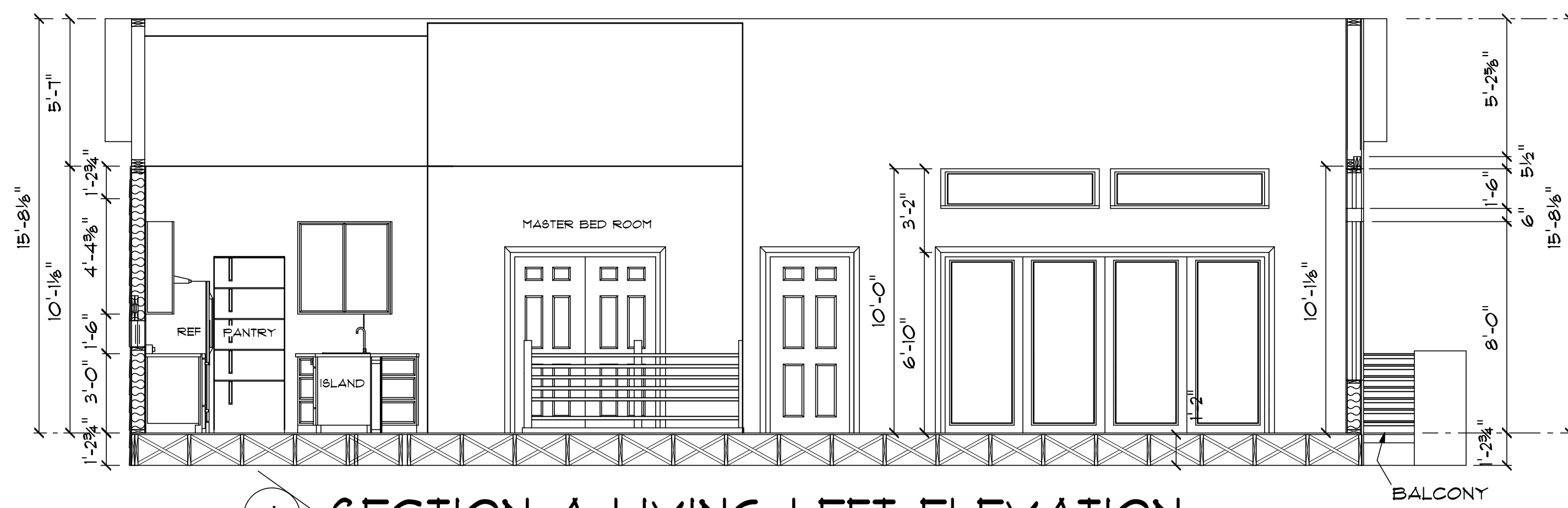
CUSTOMER NAME: 9DESIGN	SCALE: 1" = 20'-0" ON 11"X17" PAPER	PLAN #	LOT: 50
ADDRESS: 18402 LAKELAND DRIVE	CITY OF LAGO VISTA	DATE June 09, 2021	BLOCK: 48 SECT: 1
SUBDIVISION: POINT VENTURE	COUNTY OF TRAVIS	 <p><b>Preferred Home Design</b>          6318 Stable Brook Dr.          San Antonio, Tx. 78249          Ph: 210-204-0549          Email: phdmail@att.net</p>	
<p>BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, &amp; BUILDING LINES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS PLOT PLAN IS COMPLETE AND PROPOSED CONSTRUCTION DOES NOT CROSS ANY PROPOERTY LINE, DOES NOT EXTEND ONTO OR CROSS EASEMENTS WITHOUT PROPER WRITTEN PERMISSION. DOES NOT VIOLATE BUILDING LINE RESTRICTIONS</p>			



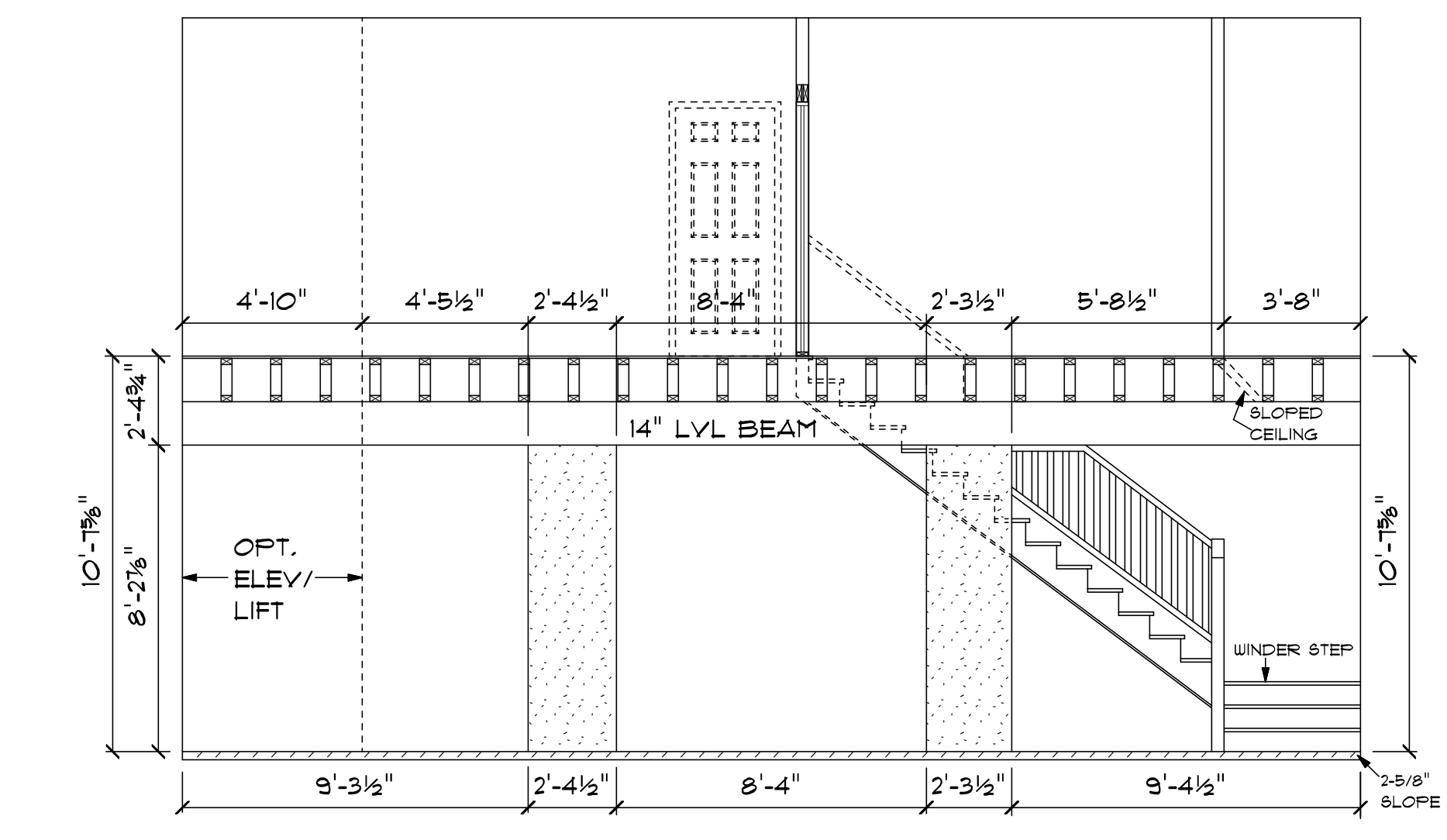
**18402 LAKELAND DRIVE**

FLATWORK: 1,612 SQ. FT.  
 IMPERVIOUS COVER: 3,621 SQ. FT.  
 LOT SIZE: 0.268 ACRES  
 NET LOT AREA: 8,073 SQ. FT.

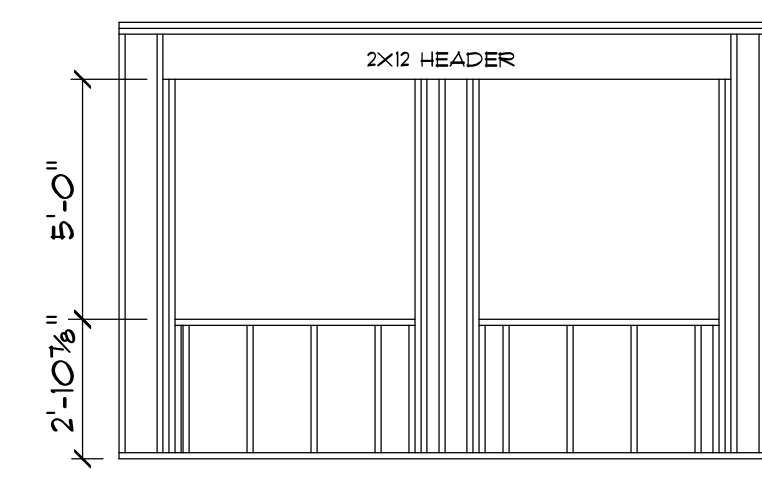
CUSTOMER NAME: 9DESIGN	SCALE: 1" = 20'-0" ON 11"X17" PAPER	PLAN #	LOT: 50
ADDRESS: 18402 LAKELAND DRIVE	CITY OF LAGO VISTA	DATE November 19, 2020	BLOCK: 48 SECT: 1
SUBDIVISION: POINT VENTURE	COUNTY OF TRAVIS	 <p><b>Preferred Home Design</b>          6318 Stable Brook Dr.          San Antonio, Tx. 78249          Ph: 210-204-0549          Email: phdmail@att.net</p>	
BUILDER SHALL VERIFY ALL LOT DIMENSIONS, EASEMENTS, & BUILDING LINES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THIS PLOT PLAN IS COMPLETE AND PROPOSED CONSTRUCTION DOES NOT CROSS ANY PROPOERTY LINE, DOES NOT EXTEND ONTO OR CROSS EASEMENTS WITHOUT PROPER WRITTEN PERMISSION. DOES NOT VIOLATE BUILDING LINE RESTRICTIONS			



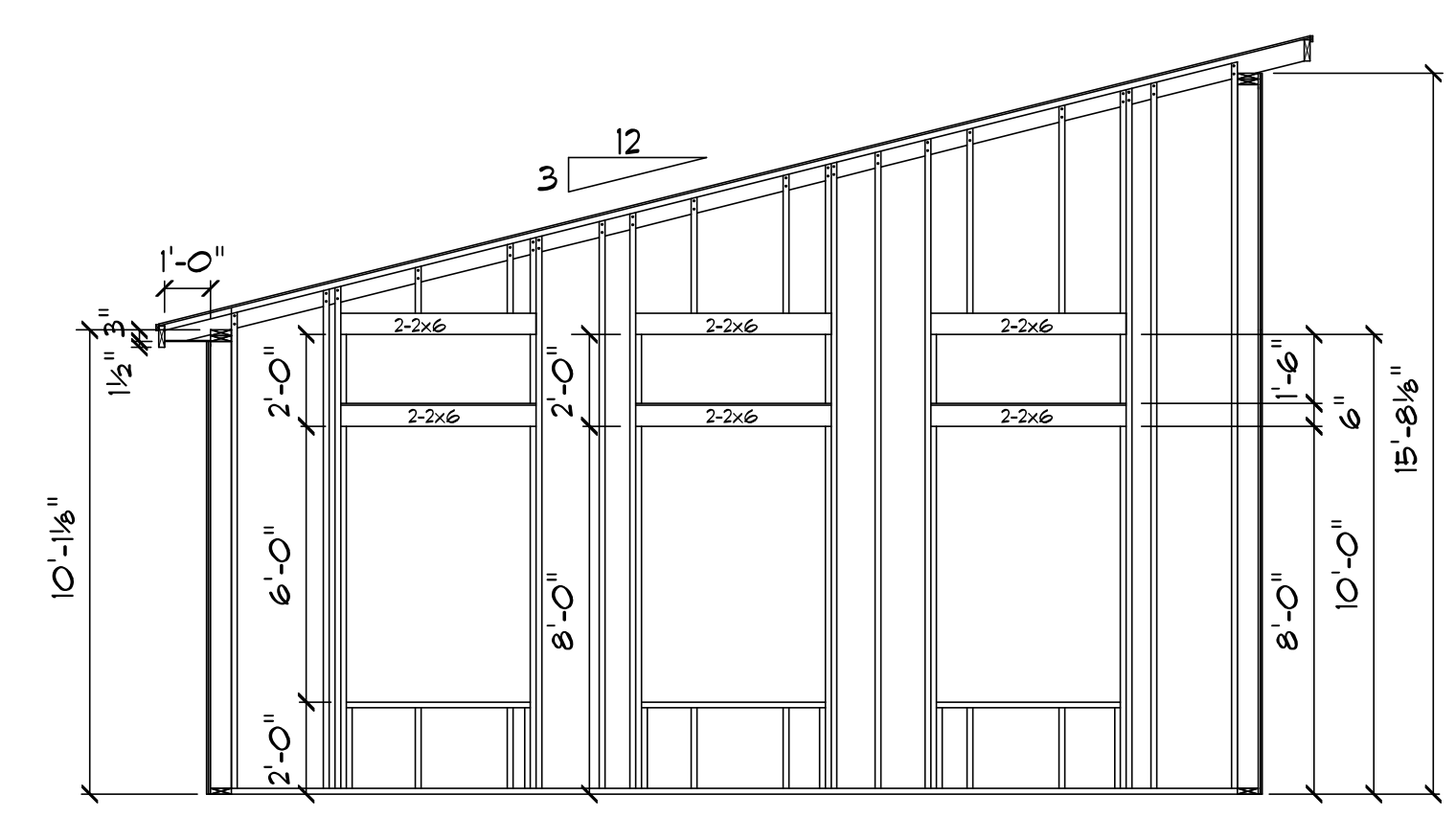
SECTION A LIVING LEFT ELEVATION



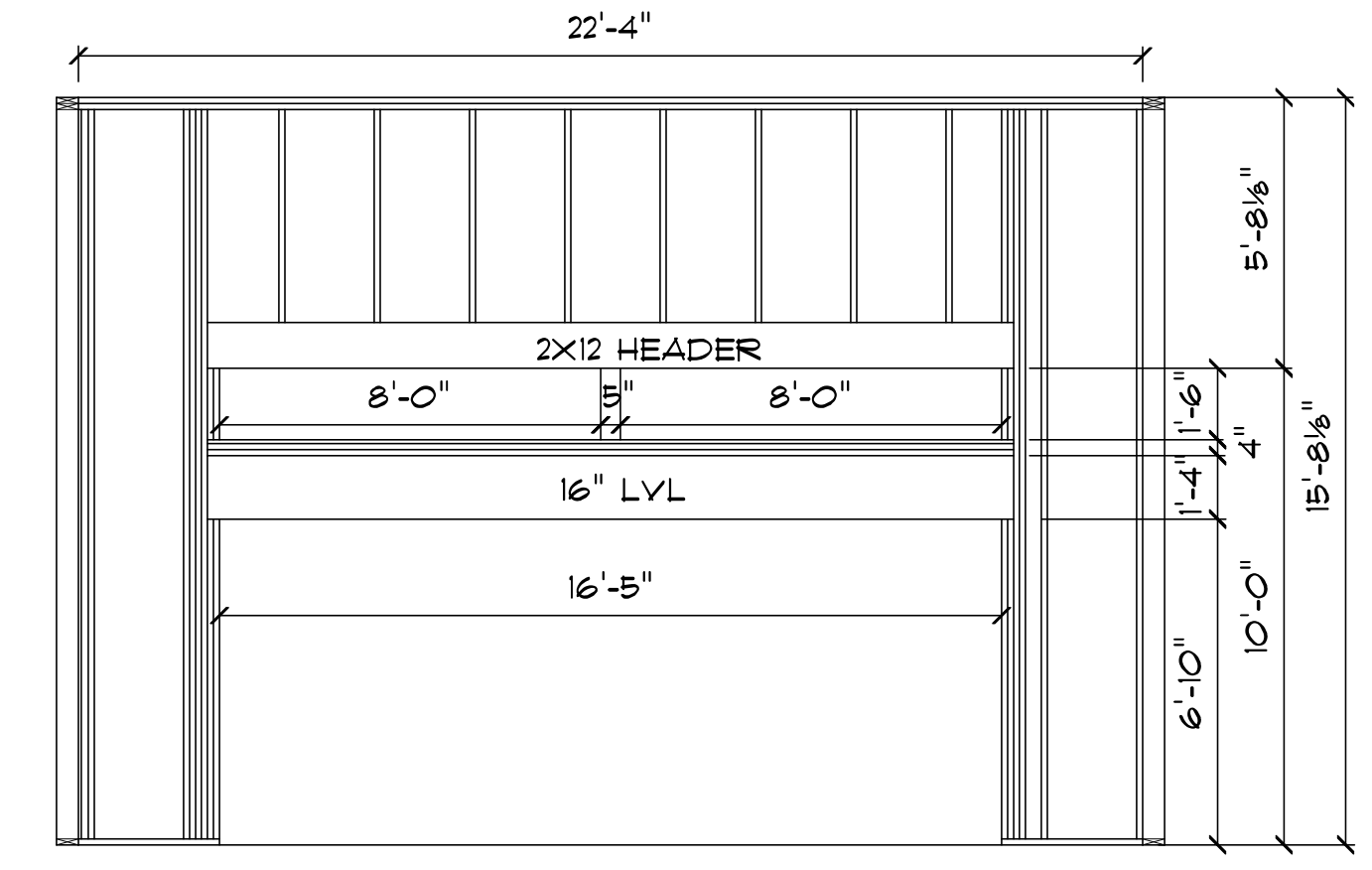
SECTION GARAGE OPT. ELEV. STAIRS RIGHT



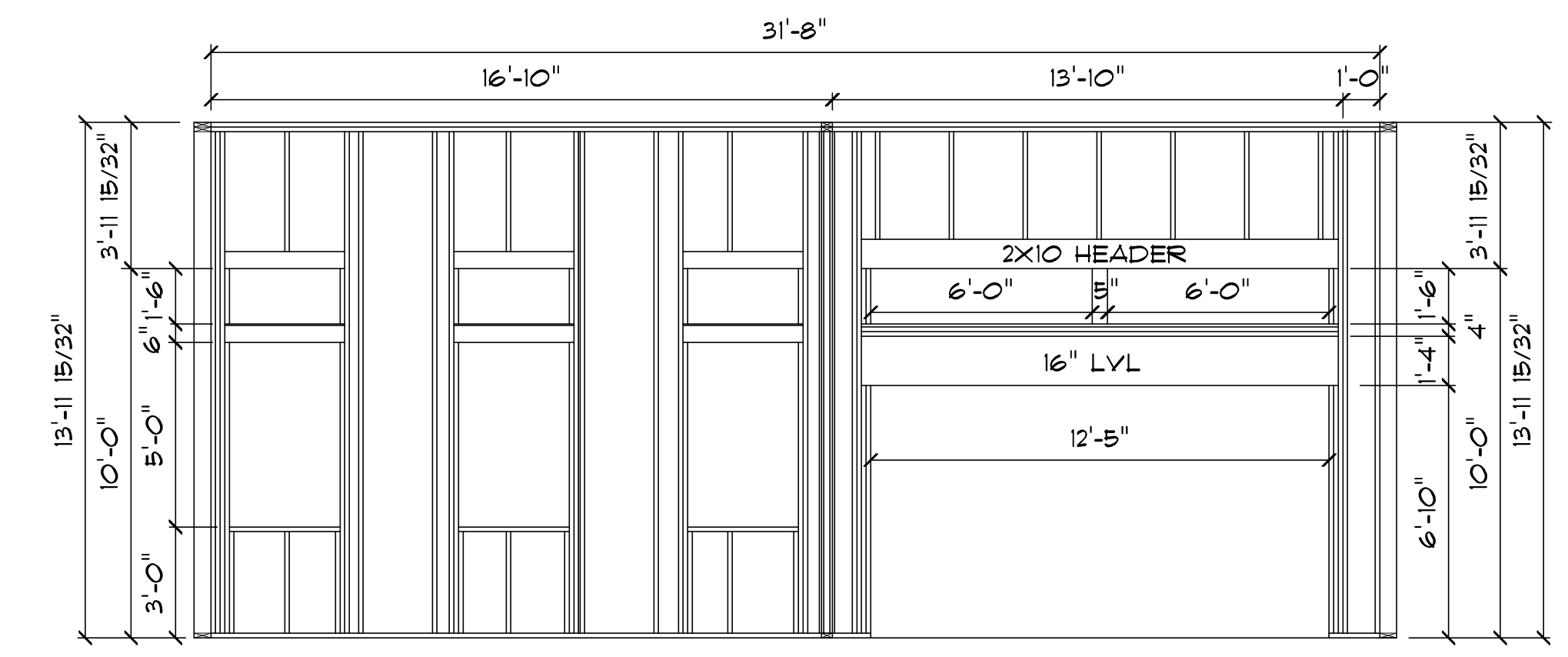
SEC. G/R OFFICE



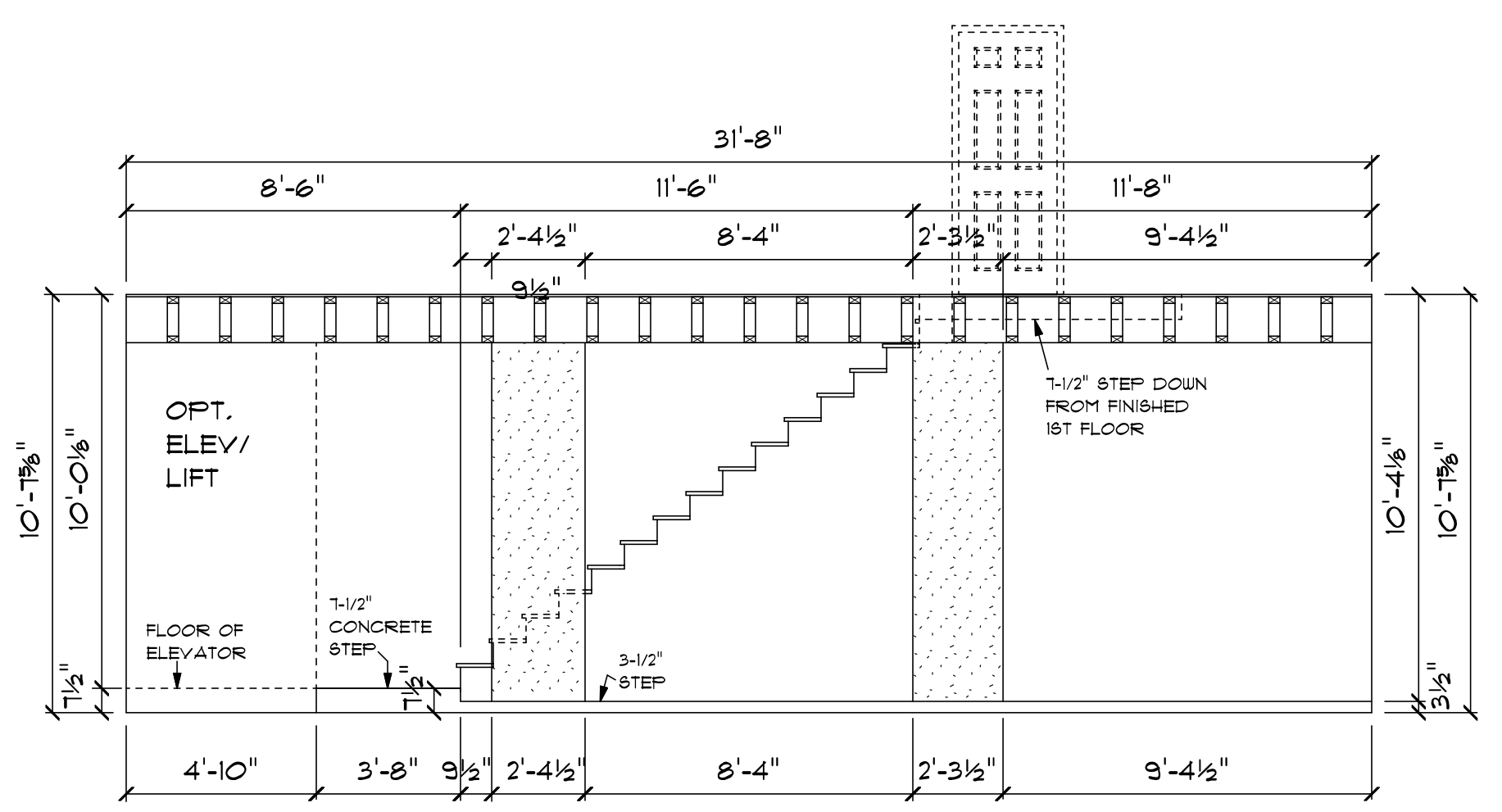
SECTION LIV. RM. FRONT ELEV.



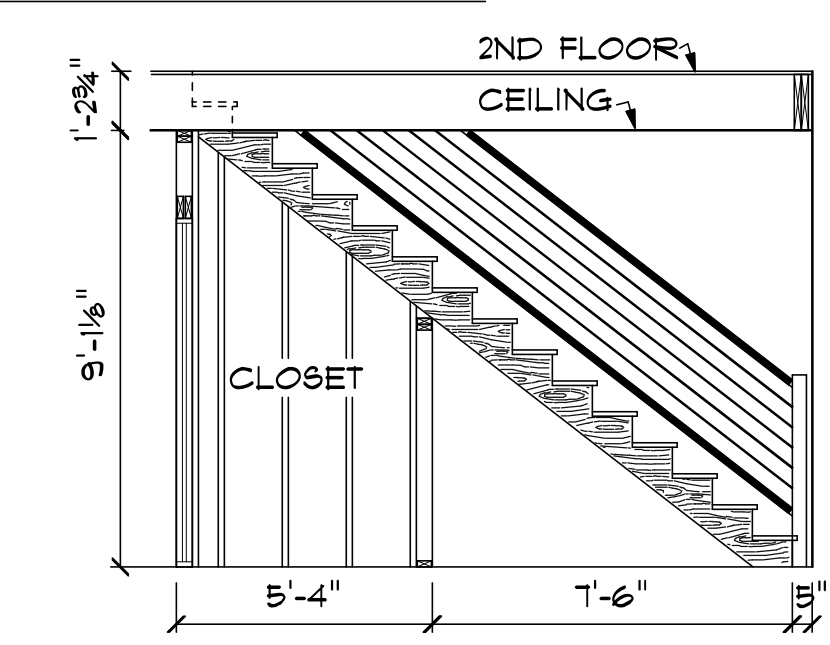
SECTION LIV. RM. RIGHT ELEV.



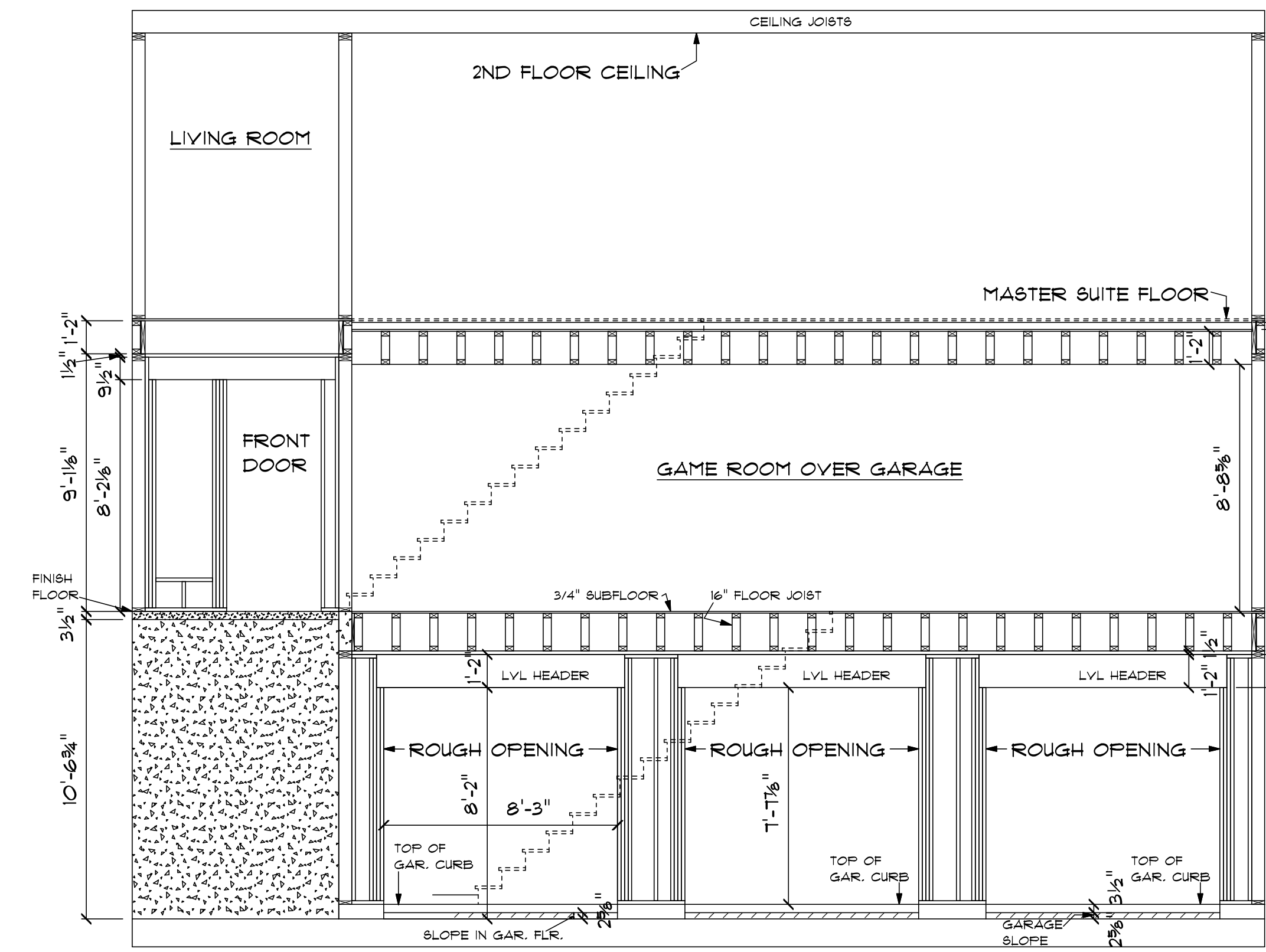
SECTION MASTER BED FRONT ELEVATION



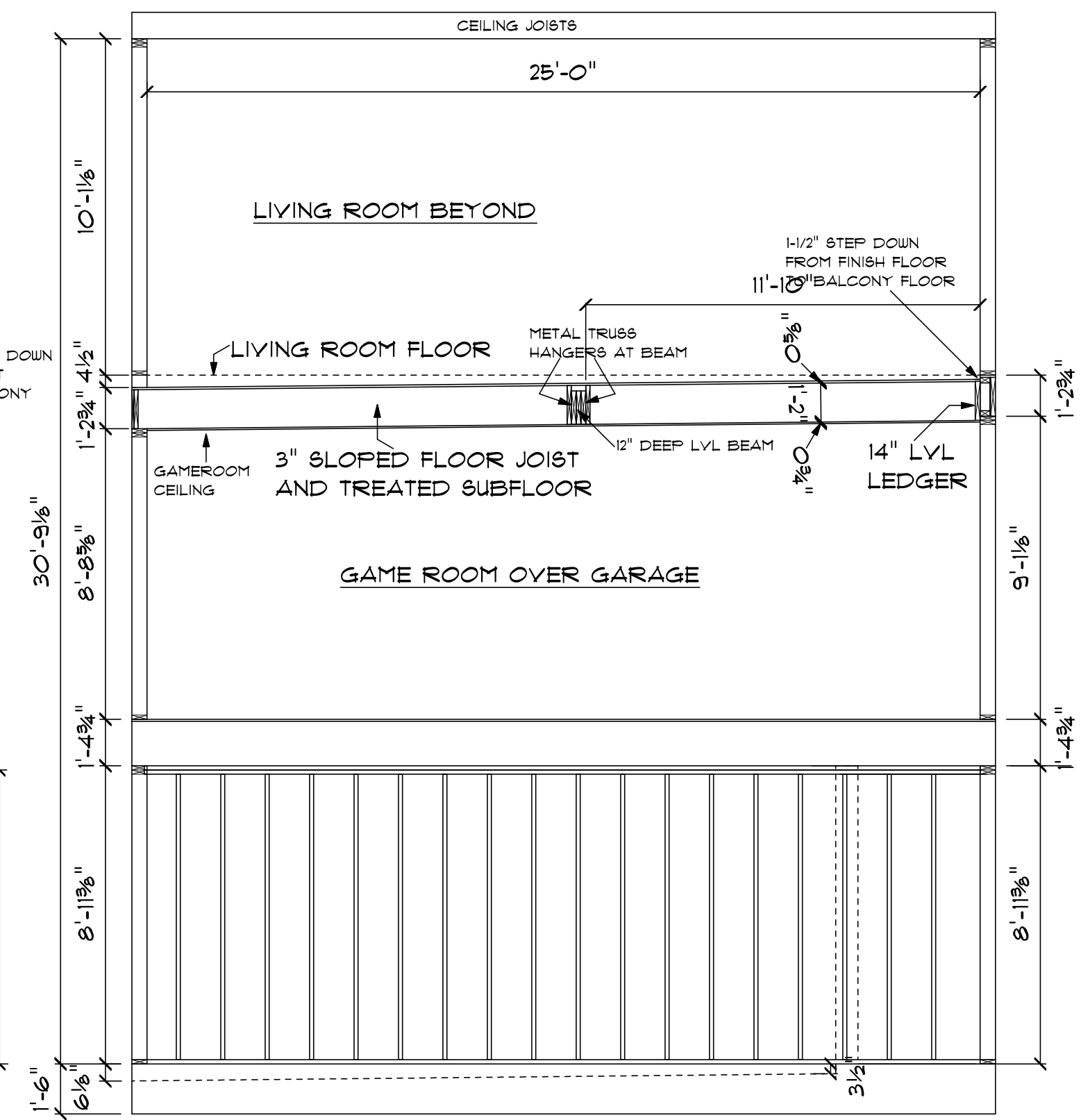
GARAGE STAIRS LEFT OPT.



INTERIOR STAIRS FROM HALL



GARAGE FRAME FRONT LEFT STAIRS OPT.



GARAGE FRAME RIGHT VIEW

- T-1-20 1ST FLR LAYOUT
- T-13-20 1ST FLR/GAR LAYOUT
- T-22-20 2ND FLR, 1ST FLR REV, SECTION L/R FRNT & RT, M/B, ROUGH 3D's
- T-24-20 OPT. ELEVATOR
- T-31-20 OPT. ELEVATOR B
- 8-7-20 ELEVATIONS, INT DETAILS, ROOF, JOISTS
- 8-24-20 MICRO AT ISLAND NO ELEV WIND, D/R CHAND 2ND FL C. JOISTS, CHECK


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 Ph: 210-204-0549  
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**SQUARE FOOTAGES:**

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TOTAL LIVING	4215
FRNT PORCH	79
GARAGE	836
TOTAL COVERAGE	5129
BALCONY	838

PLAN: 3503 CONSTITUTION
CUSTOMER: 9 DESIGN CUSTOM BUILDERS
DATE: August 24, 2020
LOT: 50
SECT: 1
SUBDIVISION: POINT VENTURE
ADDRESS: 18402 LAKELAND DRIVE
LAGO VISTA, TX. 78645

**COMMITMENT FOR TITLE INSURANCE T-7**

**ISSUED BY**

*CHICAGO TITLE INSURANCE COMPANY*

**SCHEDULE A**

Effective Date: **October 13, 2024, 8:00 am**

GF No. **2434918-LAK**

Commitment No. \_\_\_\_\_, issued **October 3, 2024, 8:00 am**

1. The policy or policies to be issued are:

- a. OWNER'S POLICY OF TITLE INSURANCE (Form T-1)  
(Not applicable for improved one-to-four family residential real estate)  
Policy Amount:  
PROPOSED INSURED:
- b. TEXAS RESIDENTIAL OWNER'S POLICY OF TITLE INSURANCE  
ONE-TO-FOUR FAMILY RESIDENCES (Form T-1R)  
Policy Amount:  
PROPOSED INSURED: **TBD**
- c. LOAN POLICY OF TITLE INSURANCE (Form T-2)  
Policy Amount:  
PROPOSED INSURED:  
Proposed Borrower: **TBD**
- d. TEXAS SHORT FORM RESIDENTIAL LOAN POLICY OF TITLE INSURANCE (Form T-2R)  
Policy Amount:  
PROPOSED INSURED:  
Proposed Borrower:
- e. LOAN TITLE POLICY BINDER ON INTERIM CONSTRUCTION LOAN (Form T-13)  
Binder Amount:  
PROPOSED INSURED:  
Proposed Borrower:
- f. OTHER  
Policy Amount:  
PROPOSED INSURED:

2. The interest in the land covered by this Commitment is: **Fee Simple**

3. Record title to the land on the Effective Date appears to be vested in:

**Liebowitz Realty Group, LLC**

4. Legal description of land:

**Lot 50, POINT VENTURE SECTION ONE, according to the map or plat thereof, recorded in Volume 48, Page 70, Plat Records, Travis County, Texas.**



## SCHEDULE B

### EXCEPTIONS FROM COVERAGE

In addition to the Exclusions and Conditions and Stipulations, your Policy will not cover loss, costs, attorney's fees, and expenses resulting from:

1. The following restrictive covenants of record itemized below (We must either insert specific recording data or delete this exception):

[Schedule B Documents Click Here](#)

**Volume 48, Page 70, Plat Records, Travis County, Texas; Volume 3790, Page 1328 (Secs. 1 & 1-A), Deed Records, Travis County, Texas; Volume 9285, Page 638, Volume 11360, Page 1068, Volume 11444, Page 480 (Secs. 1 & 1-A), Volume 12626, Page 812 (Secs. 1 & 1-A), Real Property Records, Travis County, Texas and Document Nos. 2012006519, 2012016474, 2015131872, 2019150100, 2020083777, 2022004646, 2023013999, 2024032385, Official Public Records, Travis County, Texas, but omitting any covenant or restriction based on race, color, religion, sex, disability, handicap, familial status or national origin.**

2. Any discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments or protrusions, or any overlapping of improvements.
3. Homestead or community property or survivorship rights, if any of any spouse of any insured. (Applies to the Owner's Policy only.)
4. Any titles or rights asserted by anyone, including, but not limited to, persons, the public, corporations, governments or other entities,
  - a. to tidelands, or lands comprising the shores or beds of navigable or perennial rivers and streams, lakes, bays, gulfs or oceans, or
  - b. to lands beyond the line of the harbor or bulkhead lines as established or changed by any government, or
  - c. to filled-in lands, or artificial islands, or
  - d. to statutory water rights, including riparian rights, or
  - e. to the area extending from the line of mean low tide to the line of vegetation, or the rights of access to that area or easement along and across that area.(Applies to the Owner's Policy only.)
5. Standby fees, taxes and assessments by any taxing authority for the year **2024**, and subsequent years; and subsequent taxes and assessments by any taxing authority for prior years due to change in land usage or ownership, but not those taxes or assessments for prior years because of an exemption granted to a previous owner of the property under Section 11.13, Texas Tax Code, or because of improvements not assessed for a previous tax year. (If Texas Short Form Residential Loan Policy of Title Insurance (T-2R) is issued, that policy will substitute "which become due and payable subsequent to Date of Policy" in lieu of "for the year \_\_\_\_ and subsequent years.")
6. The terms and conditions of the documents creating your interest in the land.
7. Materials furnished or labor performed in connection with planned construction before signing and delivering the lien document described in Schedule A, if the land is part of the homestead of the owner. (Applies to the Loan Title Policy Binder on Interim Construction Loan only, and may be deleted if satisfactory evidence is furnished to us before a binder is issued.)
8. Liens and leases that affect the title to the land, but that are subordinate to the lien of the insured mortgage. (Applies to Loan Policy (T-2) only.)

9. The Exceptions from Coverage and Express Insurance in Schedule B of the Texas Short Form Residential Loan Policy of Title Insurance (T-2R). (Applies to Texas Short Form Residential Loan Policy of Title Insurance (T-2R) only.) Separate exceptions 1 through 8 of this Schedule B do not apply to the Texas Short Form Residential Loan Policy of Title Insurance (T-2R).
10. The following matters and all terms of the documents creating or offering evidence of the matters (We must insert matters or delete this exception.):
- a. **Building setback lines as shown on the recorded plat and dedication set out in Schedule A hereof.**
  - b. **Easement as STATED on the plat and dedication set out in Schedule A hereof:**  
**Purpose: drainage and public utilities**  
**Location: 7.5' off the rear and sidelines of all lots**
  - c. **Easement as STATED on the plat and dedication set out in Schedule A hereof:**  
**Purpose: flood to LCRA**  
**Location: from the 715 contour to the center of Lake Travis.**
  - d. **Easement:**  
**Recorded: Volume 587, Page 440; Volume 601, Page 536; Volume 676, Page 428, Deed Records, Travis County, Texas.**  
**To: Lower Colorado River Authority**  
**Purpose: electric transmission and distribution lines.**
  - e. **A perpetual easement and right to flood, inundate and overflow:**  
**Recorded: Volume 587, Page 440; Volume 601, Page 536; Volume 676, Page 428, Deed Records, Travis County, Texas.**  
**To: Lower Colorado River Authority**
  - f. **Easement:**  
**Recorded: Volume 678, Page 127, Deed Records, Travis County, Texas.**  
**Reserved by: Lower Colorado River Authority**  
**Purpose: electric transmission and distribution lines.**
  - g. **A perpetual easement and right to flood, inundate and overflow:**  
**Recorded: Volume 678, Page 127, Volume Deed Records, Travis County, Texas.**  
**Reserved by: Lower Colorado River Authority**
  - h. **Easement: (blanket)**  
**Recorded: Volume 3810, Page 1550, Deed Records, Travis County, Texas.**  
**To: Pedernales Electric Cooperative, Inc.**  
**Purpose: electric and telephone line**
  - i. **Easement: (blanket)**  
**Recorded: Document No. 2023084536, Official Public Records, Travis County, Texas. (Lots 49 and 50)**  
**To: Pedernales Electric Cooperative, Inc.**  
**Purpose: underground electric distribution system**
  - j. **Terms, conditions, provisions, easements, building setback lines, restrictions, reservations and other matters:**

Recorded: Volume 3790, Page 1328 (Secs. 1 & 1-A), Deed Records, Travis County, Texas.  
Document: Restrictions

- k. Terms, conditions, provisions, easements, restrictions, reservations and other matters:  
Recorded: Volume 11444, Page 480 (Secs. 1 & 1-A), Deed Records, Travis County, Texas.  
Document: Amendment of Reservations, Restrictions and Covenants
- l. Maintenance charges and/or assessments (CLUB FUND and TOWNHOUSE FUND) secured by a lien as set out in instrument(s) recorded in Volume 3790, Page 1328 (Secs. 1 & 1-A), Deed Records, Travis County, Texas and as amended, supplemented, re-filed or re-stated. Said lien for charges and assessments is subordinate to the lien or liens of any bona-fide lender which hereafter lends money for the purchase of any property in the Subdivision, and/or for construction (including improvement) and/or permanent financing of improvements on any such property, as set out therein. Rights transferred to Venture Yacht and Country Club, Inc. in Volume 9285, Page 638 and Volume 11360, Page 1068, Real Property Records, Travis County, Texas.
- m. Maintenance charges and/or assessments (TOWNHOUSE FUND) secured by a lien as set out in instrument(s) recorded in Volume 11444, Page 480 (Secs. 1 & 1-A), Real Property Records, Travis County, Texas and as amended, supplemented, re-filed or re-stated. Said lien for charges and assessments is subordinate to (a) liens for ad valorem taxes; or (b) liens for all sums unpaid on a first Mortgage, as set out therein.
- n. Notice Regarding: Bylaws of Point Venture Property Owners Association, Inc.  
Recorded: Document Nos. 2008098410, 2011183657, 2015054325, 2021094063, 2023063122, Official Public Records, Travis County, Texas.
- o. Notice Regarding: Bylaws of Point Venture Townhouses, Inc.  
Recorded: Document Nos. 2021181977, 2023100666, Official Public Records, Travis County, Texas.
- p. Notice Regarding: Management Certificate with Fees  
Recorded: Document Nos. 2021201843, 2022145910, Official Public Records, Travis County, Texas.
- q. Notice Regarding: Rental Unit Fee  
Recorded: Document No. 2019110986, Official Public Records, Travis County, Texas.
- r. Notice Regarding: Grinder Pump Service Charges  
Recorded: Document No. 2019110988, Official Public Records, Travis County, Texas.
- s. Notice Regarding: Schedule of Assessments Charges & Fees  
Recorded: Document No. 2023010833, Official Public Records, Travis County, Texas.
- t. Notice Regarding: POA Rules  
Recorded: Document No. 2020214315, 2021194377, 2024032385, Official Public Records, Travis County, Texas.
- u. Terms, Conditions, and Stipulations in Oil, Gas and Mineral Lease:  
Recorded: Volume 3245, Page 1722, Deed Records, Travis County, Texas.

*Title to said interest has not been researched subsequent to the date of the above referenced instrument and the Company makes no representation as to the ownership or holder of such interest(s).*

- v. Mineral and/or royalty interest in and to all coal, lignite, oil, gas and other minerals; together with all rights incident thereto:**

**Recorded: Volume 3790, Page 1328 (Secs 1 & 1-A), Deed Records, Travis County, Texas.**

*Title to said interest has not been researched subsequent to the date of the above referenced instrument and the Company makes no representation as to the ownership or holder of such interest(s).*

- w. Mineral and/or royalty interest in and to all coal, lignite, oil, gas and other minerals; together with all rights incident thereto:**

**Recorded: Volume 5314, Page 1095, Volume 8950, Page 573, Deed Records, Travis County, Texas.**

*Title to said interest has not been researched subsequent to the date of the above referenced instrument and the Company makes no representation as to the ownership or holder of such interest(s).*

- x. Inclusion within the Travis County WCID Point Venture.**

- y. All leases, grants, exceptions or reservation of coal, lignite, oil, gas and other mineral, together with all rights, privileges, and immunities relating thereto appearing in the public records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interest that are not listed.**

- z. All leases, grants, exceptions, or reservations of the geothermal energy and associated resources below the surface of the land, together with all rights, privileges, and immunities relating thereto, appearing in the public records, whether they are listed in Schedule B or not, as provided by Sect. 2703.056(a) of the Texas Insurance Code.**

- aa. Rights of Parties in Possession. (Owner Policy)**

- bb. Any visible and apparent easement, either public or private, located on or across the land, the existence of which is not disclosed by the Public Records as herein defined.**

- cc. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land.**

## SCHEDULE C

Your Policy will not cover loss, costs, attorneys' fees, and expenses resulting from the following requirements that will appear as Exceptions in Schedule B of the Policy, unless you dispose of these matters to our satisfaction, before the date the Policy is issued:

1. Documents creating your title or interest must be approved by us and must be signed, notarized and filed for record.
2. Satisfactory evidence must be provided that:
  - a. no person occupying the land claims any interest in that land against the persons named in paragraph 3 of Schedule A,
  - b. all standby fees, taxes, assessments and charges against the property have been paid,
  - c. all improvements or repairs to the property are completed and accepted by the owner, and that all contractors, sub-contractors, laborers and suppliers have been fully paid, and that no mechanic's, laborer's or materialmen's liens have attached to the property,
  - d. there is legal right of access to and from the land,
  - e. (on a Loan Policy only) restrictions have not been and will not be violated that affect the validity and priority of the insured mortgage.
3. You must pay the seller or borrower the agreed amount for your property or interest.
4. Any defect, lien or other matter that may affect title to the land or interest insured, that arises or is filed after the effective date of this Commitment.
5. **We find no outstanding liens of record affecting subject property. An inquiry should be made concerning the existence of any unrecorded lien or other indebtedness which could give rise to any security interest in subject property.**
6. **Company requires payment in full of any and all assessments due and payable to the prevailing homeowners or maintenance association. (Note to Closer: If the proposed lender is requesting the T-19 Restrictions, Encroachments and Minerals Endorsement, please review the Schedule B assessment lien exception to confirm the lien securing HOA assessments is subordinate to the mortgage to be insured herein, and if not subordinate OBTAIN A SUBORDINATION)**
7. **Please furnish the names of the parties to be insured herein. Upon receipt of said names, additional requirements may be made.**
8. **In regards to Liebowitz Realty Group LLC, company must be furnished the following in order to determine the identity of the person(s) with authority to sign documents:**
  - a) **Copy of the Articles of Formation (formerly Organization), and all amendments thereto.**
  - b) **Copy of the Rules and Regulations or Operating Agreement.**
  - c) **Copy of proof of registration and evidence of good standing in entity's state or nation of domicile.**
9. **Company requires an acceptable Notice to Purchaser be executed regards to the WCID Point Venture.**

10. Payment of any and all ad valorem taxes which may be due and payable on the subject property.
11. Company requires Owner, Seller and/or Borrower to complete an Affidavit of Debts and Liens prior to the issuance of the Title Insurance Policy.
12. Company must be furnished with a properly executed Waiver of Inspection signed by the Purchaser.
13. Good Funds in an amount equal to all disbursements must be received and deposited before any funds may be disbursed. Partial disbursements prior to the receipt and deposit of good funds are not permitted. Good Funds means cash, wire transfer, certified checks, cashier's checks and teller checks. Company reserves the right to require wired transfer of funds in accordance with Procedural Rule P-27 where immediate disbursement is requested.
14. **ARBITRATION:** The Owner Policy of Title Insurance (Form T-1) and the Loan Policy of Title Insurance (Form T-2) contain an arbitration provision. It allows the Insured or the Company to require arbitration if the amount of insurance is \$2,000,000 or less. If the insured wants to retain the right to sue the Company in case of a dispute over a claim, the Insured must request deletion of the arbitration provision before the Policy is issued. The Insured may do this by signing the Deletion of Arbitration Provision form and returning it to the Company at or before the closing of the real estate transaction or by writing to the Company. {The Arbitration Provision may not be deleted on the Texas Residential Owner Policy of Title Insurance (Form T-1R).}
15. **NOTICE:** Title Company is unwilling to issue the Title Policy without the general mineral exception(s) set out in Schedule B hereof pursuant to Procedural Rule P-5.1. Optional endorsements (T19.2 and T19.3) insuring certain risks involving minerals, and the use of improvements (excluding lawns, shrubbery and trees) and permanent buildings may be available for purchase upon request of the Proposed Insured. Neither this Policy, nor the optional endorsements, insure that the purchaser has title to the mineral rights related to the surface estate. The promulgated cost for said endorsement is \$50 per policy.
16. **NOTICE:** Pursuant to Procedural Rule P-71, Company may, upon request and if a licensed Agent in the County, issue a T-53 Texas Residential Limited Coverage Chain of Title Policy covering a period of 60 months, showing the following documents filed in the Official Public Records: Document No. 2019200044, Official Public Records, Travis County, Texas.

Countersigned  
Independence Title

By



## COMMITMENT FOR TITLE INSURANCE

### SCHEDULE D

GF No. **2434918-LAK**

Effective Date: **October 13, 2024, 8:00 am**

Pursuant to the requirements of Rule P-21, Basic Manual of Rules, Rates and Forms for the writing of Title Insurance in the State of Texas, the following disclosures are made:

1. The following individuals are directors and/or officers, as indicated, of the Title Insurance Company issuing this Commitment  

The issuing Title Insurance Company, Chicago Title Insurance Company, is a corporation whose shareholders owning or controlling, directly or indirectly, 10% or more of said corporation, directors and officers are listed below:

Shareholders: Fidelity National Title Group, Inc., which is owned 100% by FNTG Holdings, LLC, which is owned 100% by Fidelity National Financial, Inc., a publicly held company.  
Directors: Edson N. Burton, Jr., Roger S. Jewkes, Marjorie Nemzura, Michael J. Nolan, Anthony J. Park  
Officers: Michael J. Nolan, President, Chief Executive Officer, and Chairman of the Board; Anthony J. Park, Treasurer, Chief Financial Officer, and Executive Vice President; Marjorie Nemzura, Corporate Secretary and Vice President
  
2. The following disclosures are made by the Title Insurance Agent Secured Land Transfers, LLC dba Independence Title issuing this commitment:
  - (a) A listing of each shareholder, owner, partner, or other person having, owning or controlling one percent (1%) or more of the Title Insurance Agent that will receive a portion of the premium is as follows:  
**RE Closing Buyer Corp.**
  - (b) A listing of each shareholder, owner, partner, or other person having, owning or controlling 10 percent (10%) or more of an entity that has, owns or controls one percent (1%) or more of the Title Insurance Agent that will receive a portion of the premium is as follows:  
**Anywhere Integrated Services LLC**
  - (c) If the Agent is a corporation: (i) the name of each director of the Title Insurance Agent, and (ii) the names of the President, the Executive or Senior Vice-President, the Secretary and the Treasurer of the Title Insurance Agent are as follows:  

Scott Storck, President; Donald J. Casey, Chief Executive Officer; H. Illene Topper , Senior Vice President and Chief Financial Officer; Michael P. Gozdan, Senior Vice President and Secretary; Marilyn J. Wasser, Executive Vice President and Assistant Secretary; Donald W. Evans, Jr., Executive Vice President ; Lynette K. Gladdis, Senior Vice President and Assistant Secretary; Timothy B. Gustavson, Senior Vice President; Deborah Higgins, Senior Vice President; Seth I. Truwit, Senior Vice President and Assistant Secretary; Brian Alan Pitman, Vice President; Jay Fitzgerald, Vice President.
  - (d) The name of any person who is not a full-time employee of the Title Insurance Agent and who receives any portion of the title insurance premium for services performed on behalf of the Title Insurance Agent in connection with the issuance of a title insurance form; and, the amount of premium that any such person shall receive is disclosed in paragraph 3.
  - (e) For purposes of this paragraph 2, "having, owning, or controlling" includes the right to receipt of a percentage of net income, gross income, or cash flow of the Agent or entity in the percentage stated in subparagraphs (a) or (b).
  
3. You are entitled to receive advance disclosure of settlement charges in connection with the proposed transaction to which this commitment relates. Upon your request, such disclosure will be made to you. Additionally, the name of any person, firm or corporation receiving a portion of the premium from the settlement of this transaction will be

disclosed on the closing or settlement statement.

You are further advised that the estimated title premium\* is:

Owner's Policy	<u>\$0.00</u>
Loan Policy	<u>\$0.00</u>
Endorsement Charges	<u>\$0.00</u>
Other	<u>\$0.00</u>
Total	<u>\$0.00</u>

Of this total amount: 15% will be paid to the policy issuing Title Insurance Company; 85% will be retained by the issuing Title Insurance Agent; and the remainder of the estimated premium will be paid to other parties as follows:

<u>Amount</u>	<u>To Whom</u>	<u>For Services</u>
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" The estimated premium is based upon information furnished to us as of the date of this Commitment for Title Insurance. Final determination of the amount of the premium will be made at closing in accordance with the Rules and Regulations adopted by the Commissioner of Insurance."



**Chicago Title Insurance Company**

Premium Amount	Rate Rules	Property Type	County Code	Liability at Reissue Rate	6	7	8
1	2	3 1	4 453	5	6	7	8



## BUYER'S BROKER REGISTRATION FORM

April 2<sup>nd</sup>-May 7<sup>th</sup>, 2025 – Real Estate Auction

18402 Lakeland Dr. Lago Vista, TX

### Buyer Broker Information (Must Be Completed)

Broker/Agent: \_\_\_\_\_

Company Name: \_\_\_\_\_

Company Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

License Number: \_\_\_\_\_ Broker Number: \_\_\_\_\_ Tax ID: \_\_\_\_\_

Office Phone: (\_\_\_\_) \_\_\_\_\_ Mobile/Cell (\_\_\_\_) \_\_\_\_\_

Fax: (\_\_\_\_) \_\_\_\_\_ Alternative (\_\_\_\_) \_\_\_\_\_

### Client Information

Client: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Office: (\_\_\_\_) \_\_\_\_\_ Cell (\_\_\_\_) \_\_\_\_\_ Hm: (\_\_\_\_) \_\_\_\_\_

Interested in Upcoming Real Estate Auctions?  To Sell Properties  To Buy Properties

I do not wish to be contacted for future real estate opportunities.

### BROKER PARTICIPATION GUIDELINES

1. A commission/referral will be paid based on the following guidelines to a properly licensed real estate broker who submits his/her Broker Registration Form in conjunction with the guidelines outlined below and whose client is the successful buyer of the property. Buyer must close on the property and must pay total contract price for the property.  
A Three Percent (3.00%) commission/referral will be paid on the high bid amount (not the contract amount) as noted in the Auction Sales Contract.
2. In order to be entitled to any commission/referral, the broker must:
  - a. Register his/her client by filling out this Buyer's Broker Registration form completely, including the signature of the client on the form.
  - b. Submit the Buyer's Broker Registration form via mail to: 506 King Eider Ln Cedar Park, TX 78613 or fax at (512) 213-4975 or scan and email to [david@davidackel.com](mailto:david@davidackel.com) **to be**

**received no later than 48 hours prior to the start of the respective auction.** Broker Registration Forms received after the deadline *will not* be honored. Broker is required to bring a copy of this form, which must have been accepted and acknowledged by David Ackel Auctions-David Ackel, with him/her on sale day.

- c. Attend and register with the client at the auction and encourage bidding.
  - d. Abide by the guidelines outlined herein.
3. The Broker, by placing his/her signature below, certifies, agrees and acknowledges that:
- a. The broker will not claim any exceptions to the procedures outlined in this document unless made in writing and signed by Auctioneer/Broker.
  - b. No oral registration will qualify broker for commission/referral.
  - c. The broker's commission/referral will be due at the final closing of the property purchased by the broker's client after all consideration is paid in full.
  - d. Only the first registration of a prospective client will be accepted and honored.
  - e. The commission/referral will be payable only at closing and will be disbursed by the closing agent.
  - f. The broker will be paid a commission/referral only as set forth under these guidelines and only as pertaining to the specific property being auctioned.
  - g. The broker will not receive a commission/referral without the signature of the client on the Buyer's Broker Registration form.
  - h. The broker will be representing the bidder/buyer (client) listed above as his or her agent.
  - i. The broker is not a subagent of David Ackel Auctions – David Ackel, Broker and represents his or her client as a buyer's broker.
  - j. No broker will be recognized for a commission/referral that is participating as a principal, buyer or partner in the purchase.
  - k. This form consists of two (2) pages and the broker has received two (2) pages.
4. The Buyer/Bidder, by placing his or her signature below, certifies, agrees and acknowledges that:
- a. He or she has inspected the subject property.
  - b. David Ackel – David Ackel Auctions represents the Seller in this transaction
  - c. Commission/referral shall be paid only to broker representing client as acknowledged in this form.
  - d. He or she shall hold harmless and indemnify David Ackel – David Ackel Auctions and Seller from any and all representations made by the buyer's broker.
  - e. For further information or questions, please call (512) 348-7748 and speak to David Ackel, Auctioneer/TX Real Estate Broker.

Buyer/Bidder Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Broker/Agent Signature: \_\_\_\_\_ Date: \_\_\_\_\_

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**For Office Use Only:**

Received at \_\_\_\_\_ on \_\_\_\_\_, 2025

By \_\_\_\_\_



**REAL ESTATE AUCTION**

WEDNESDAY— April 2<sup>nd</sup>-May 7th, 2025 – 12:00 NOON  
18402 Lakeland Dr Lago Vista, TX  
TX Real Estate Broker # 626510 & TX Auction Lic# 15140

**YOU MUST BE A REGISTERED BUYER IN ORDER TO BID**

BUYER AGREES UPON REGISTRATION TO BID TO THE TERMS AND CONDITIONS OF THIS SALE  
ANNOUNCEMENTS BY AUCTIONEER TAKE PRECEDENCE OVER PRINTED MATTER  
AUCTIONEER RESERVES THE RIGHT TO SELL USING INCREMENTS BEST SUITED FOR AUCTION

AUCTION TERMS AND CONDITIONS  
IMPORTANT INFORMATION PLEASE READ

**Registration:** All bidding is open to the public. However, you must register and obtain a bid number in order to bid at Auction online.

**Buyer Broker Participation:** A 3% Buyer's Broker fee is offered at this auction. Real Estate Agent must register Buyer at least 48 hours before auction to qualify. Please contact Seller's Broker David Ackel (512) 348-7748 for a registration form.

**Deposits:** 10% down day of Auction, cash or cashier's check. Non refundable deposit, should buyer fail to close within 30 days on or before , 2025. Buyer agrees deposit will be immediately forfeited as liquidated dam- ages.

**Closing:** The successful Bidder must sign purchase agreement immediately upon close of bidding on the purchased property day of Auction. Balance due at closing in 30 days, on or before June 6th, 2025. Purchaser will be responsible for all closing costs, taxes to be pro-rated. Good insurable title, free from all liens, taxes, and encumbrances is guaranteed or deposit will be refunded.

**Conditions:** Property sells with a 10% buyer's premium added to the final bid price and included in the total purchase price. Property sold "AS IS, WHERE IS". We encourage you to have an inspector or contractor look at the property with you. The Auctioneer makes no representation or Warranty, expressed or implied, as to the accuracy of the information contained herein. Submitted, subject to errors and omissions, all measurements plus or minus. Although information has been obtained from sources deemed reliable, buyer should rely on their own information, judgment, and inspection of the property and records, including, but not limited to, all documents recorded in the County where the property is located. All announcements from the auction block will take precedence over any previously printed material or any other oral statement made.

**Financing:** Purchasers need to obtain their own financing. Purchase Agreement is not subject to financing or qualifications. All bidders should be pre-qualified. This auction is not contingent upon financing of any kind.

**Inspections:** it is the bidder's responsibility to inspect the property and to perform their own due diligence. The seller and Auctioneer assume that bidders have inspected the property and performed their own due diligence prior to bidding, and that the high bidder is acquiring the property based solely on their own independent investigations and inspections and reliance on any information provided by Seller, Auctioneer, any of their employees, officers, directors, agents or contractors, subagents or subcontractors.

**Buyer Possession:** Buyer will have possession at closing

**Buyer Agrees:** Buyer agrees upon registration to bid, to the terms and conditions of this sale.

\_\_\_\_\_ EXECUTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2025  
Registered Buyer

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

The Auctioneers are licensed in the State of Texas, regulated by the Department of Licensing and Regulation and are covered by a Recovery Fund administered by the Department. If you have any unresolved complaints notify: TDLR, PO Box 12157, Austin, Texas 78711 (512) 463-5522

STATE OF  
TEXAS

BIDDER# \_\_\_\_\_



COUNTY OF  
TRAVIS

May 7th, 2025

**AUCTION REAL ESTATE PURCHASE AGREEMENT**

THIS CONTRACT, made this \_\_\_\_ day of \_\_\_\_\_ 2025, by and between \_\_\_\_\_ (“Seller”) whose address is \_\_\_\_\_

And \_\_\_\_\_ (“Buyer”)

Whose address is \_\_\_\_\_

**AGREEMENT TO PURCHASE.** In consideration of the sum as identified in paragraph 2 below, the mutual covenants herein set forth, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Seller agrees to sell to Buyer, by General Warranty Deed, and Buyer agrees to purchase from Seller, pursuant to the terms and conditions hereinafter set forth, the real property identified as *legal description inserted here*, See Legal Attached.

\_\_\_\_\_ (the “Properties”).

**2. High Bid Price** ..... \$ \_\_\_\_\_

**10% Buyer’s Premium** ..... \$ \_\_\_\_\_

**Total Contract Price** ..... \$ \_\_\_\_\_

**Down Payment/Deposit** ..... \$ \_\_\_\_\_

In U.S. Funds, based on the Total Contract Price, to be held  
In A non-interest bearing escrow account by Closing Agent.

**Balance of Purchase Price** ..... \$ \_\_\_\_\_

In U.S. Funds, due at Closing, not including Buyer’s Closing  
Costs or financing costs, prepaids or prorations, in immediately  
available cash or by confirmed wire transfer.

**3. CLOSING.** Closing shall take place at Independence Title (“Closing Agency”) whose address is 1516 Ranch Rd 620 S Suite 500, Austin, TX 78734 on or before June 6<sup>th</sup> 2025 (the “Closing Date”). The contact person is Theresa DeAlejandro - Phone: 512-263-1703. At Closing, subject to whose matters contained in the Title Commitment and the Sales Contract. Time is of the essence in the Contract.

**4. TAXES AND OTHER PRORATIONS.** The current year's Property Taxes shall be prorated between the Seller and Buyer at Closing. All back taxes if any, shall be the responsibility of the Seller.

**5. CLOSING COSTS.**

**(a) Seller's Costs.** At Closing, Seller shall pay the fees for preparation of the General Warranty Deed, costs relating to clearing title and overnight courier fees on behalf of the Seller.

**(b) Buyer's Costs.** At Closing, Buyer shall pay the recording costs of the deed, title policy, overnight courier fee on behalf of the Buyer, Closing Agent's closing fees, and all additional sale or closing fees.

**6. TERMS.** This is a cash sale with Ten Percent (10%) down payment, with the balance due at close **June 6th, 2025**, in 30 days. This sale is not contingent upon financing.

BUYER ACKNOWLEDGES AND AGREES THAT BUYER'S OBLIGATIONS UNDER THE CONTRACT ARE NOT CONTINGENT UPON BUYER OBTAINING A LOAN FROM ANY LENDER. ACCORDINGLY, BUYER SHALL BE OBLIGATED TO PERFORM ITS OBLIGATIONS UNDER THE CONTRACT WHETHER OR NOT BUYER CAN OBTAIN A LOAN TO FINANCE THE PURCHASE OF THE PROPERTY.

**7. DOWN PAYMENT/ DEPOSIT AND CLOSING AGENT.** Buyer and Seller hereby acknowledge and agree that Closing Agent shall hold and deliver the Down Payment/ Deposit, in accordance with the terms and conditions of this Contract and that closing Agent shall be relieved of all liability and held harmless by both Seller and Buyer in the event Closing Agent makes a disbursement of the Down Payment/ Deposit in accordance with the terms and provisions of this Contract. Closing Agent shall be relieved from any responsibility or liability and held harmless by both Seller and Buyer in connection with the discharge of any Closing Agent's duties hereunder provided that Closing Agent exercises ordinary and reasonable care in the discharge of said duties. Both parties understand that the Buyer's Down Payment/ Deposit is non-refundable unless the Seller cannot close the transaction. Further, the Down Payment/ Deposit is not to be considered earnest money.

**8. DISCLAIMER OF WARRANTIES ("AS-IS" CONVEYANCE)**

(a) Buyer warrants and acknowledges to and agrees with Seller, and David Ackel Auctions L.L.C. ("Auctioneer") that Buyer is purchasing the Property in an "As-Is, Where Is" condition "WITH ALL FAULTS" and specifically and expressly without whatsoever, from or on behalf of the Seller.

(b) Buyer Acknowledges to and agrees with Seller and Auctioneer and with respect to the Property, Seller and Auctioneer have not, do not, and will not make any warranties or representations, expressed or implied, or arising by operation of law, including, but in no way limited to, any warranty as to the value, physical condition, square footage, environmental condition, zoning, good repair, operability, habitability, tenantability, suitability, merchantability, profitability, marketability, past or present compliance with any rules, regulations, covenants or restrictions, development potential or fitness for a particular use or purpose of the property.

(c) Buyer acknowledges that it is Buyer's responsibility to make such legal, factual and other inquiries and investigations, as Buyer deems necessary with respect to the property. Buyer(s) acknowledge(s) acknowledge(s) that they have executed this contract based solely on their own independent due diligence investigations and findings, and not in reliance on any information provided by SELLER OR AUCTIONEER or their affiliates, agents, officers, employees or representative. Buyer acknowledges that Buyer has not relied, and is not relying upon information, document, sales brochures or other literature, maps or sketches, projection, pro forma, statement, representation, guarantee or warranty (whether expressed or implied, oral or written, material or immaterial) that may have been given or made by or on behalf of the Seller or Auctioneer.

(d) Buyer shall look only to Seller, and not to Auctioneer, as to all matters regarding this Agreement and the Property. The Auctioneer shall not be responsible or liable in any way if the Seller fails or refuses to or cannot close title hereunder.

(e) Without in any way limiting the generality of the preceding subparagraphs (a) through (d). Buyer specifically acknowledges and agrees that Buyer hereby waives, releases and discharges any claim it has, might have had, or may have against the Seller and Auctioneer with respect to the condition of the Property, either patent or latent.

**9. PROPERTY INSPECTION.** It is the Buyer's sole responsibility to perform all inspections (physical, legal, economic, environmental, archeological or otherwise) on the Property and to be satisfied as to its condition prior to making an offer on the Property; review all property information and due diligence materials; independently verify any information they deem important including information available in public records; and inquire of public officials as to the applicability of and compliance with land use and environmental laws building ordinances, zoning, health and safety codes, and any other local, state or federal laws and regulations.

Buyer is responsible for the costs of all inspections, surveys, engineering, reports, environmental studies, including, but not limited to, lead-based paint tests, or for any other work performed at Buyer's request and Buyer shall pay for any damage with occurs to the Property as a result of such activities. Buyer shall not permit any claims or liens of any kind against the Property for inspections, surveys, engineering reports or for any other work performed on the Property at Buyer's request. Buyer agrees to indemnify, protect and hold Seller and Auctioneer harmless against any liability, damage, cost or expense incurred, directly or indirectly, by Seller, as result of Buyer's inspection, or survey of the Property, either prior to, on or after the date hereof. This indemnity includes Seller's right to recover all costs and expenses incurred by Seller to enforce this section, including Seller's reasonable attorney's fees. Buyer agrees to repair any damage caused by such inspections and to restore the Property to its condition prior to the inspection. This provision shall survive the Closing and any termination of this Contract.

**10. TITLE.** Buyer hereby agrees to accept title to the Property subject to (i) all standard exclusions and printed exceptions set forth in the owner's policy of title insurance, including all matters that would be disclosed by a current and accurate survey map of the Property; (ii) liens for taxes not yet due and payable; (iii) easements for public utilities affecting the property; (iv) all other easements or claims to easements, covenants, restrictions and rights-of-way affecting the Property; (v) rights and claims of parties in possession; and (vi) all title exceptions referenced in the Title Commitment (the foregoing title matters are herein referred to as the "Permitted Title Exceptions"). Any applicable zoning ordinances, other land use laws and regulations, together with taxes for the current year and those matters, if any, which are waived by Buyer pursuant to this Paragraph 10, shall also be deemed Permitted Title Exceptions.

- a. Maps and depictions included in the marketing material for the auction are for illustration purposes only and neither Seller, nor Auctioneer warrants or guarantees any of these materials or other information to be accurate or complete.
- b. Any fencing situated on the Property is not necessarily an indication of the property boundary.
- c. The Buyer shall be responsible for their own due diligence regarding the availability and/or accessibility of any utilities or the suitability for their own due diligence regarding the availability and /or accessibility of any utilities or the suitability for building on the Property. In addition, the Buyer shall be responsible for obtaining any and all permits for installation of utilities, wells, septic systems, and/or any costs related to such installation. Permits, tanks, meters, lines, and any other applicable fees shall be at the Buyer's expense.

**11. FIXTURES AND PERSONAL PROPERTY.** No personal property other than the following, will be conveyed with the real estate: [See attached Non-Realty Items Addendum - TREC FORM NO. OP-M, if applicable]

**12. TITLE DEFECTS.** IF the Title Commitment reveals a Defect in title which is not one of the Permitted Title Exceptions, or if prior to the Closing a new defect in title is disclosed by an updated endorsement to the Commitment, which defect is not one of the Permitted Title Exceptions, prior to Closing Date, Buyer may either waive such defect or give written notice to Seller and Closing Agent no later than five (5) days from the date of discovery of such defect in title, whereupon Seller may, at its option, attempt to cure such defect prior to Closing or decline to cure such defect. If Seller is unable or unwilling to cure, on or before the Closing Date, any defect as to which Buyer has notified Seller as herein provided and if Buyer does not waive such defect on or prior to the Closing Date by written notice to Seller, this Contract shall be terminated without liability to either party and the Down Payment/Deposit shall be returned to the Buyer, Seller shall have the right, at its sole election, to extend the Closing Date by not more than Sixty (60) Days to attempt to cure any such defect in title.

**13. COMMISSIONS.**

- (a) **Brokerage.** Buyer warrants and represents that Buyer [ ] is [ ] is not represented by a Buyer's Broker in this transaction. If Buyer is represented by a Buyer's Broker, the Buyer's Brokers name is:  
The Buyer's Broker must have performed all requirements of the Buyer Broker Guidelines as provided by the Auctioneer. Failure to properly register or comply with the provisions of the Guidelines will disqualify the Buyer's Broker from receiving any commission.
- (b) **Brokerage Commission.** Upon the Closing of the transaction contemplated herein Seller shall pay Auctioneer a commission pursuant to the terms of a separate agreement. If the Buyer's Broker is properly registered with the Auctioneer, then at Closing, the Buyer's Broker shall be paid a commission pursuant to any Broker Participation Agreement. If for any reason whatsoever (including the default of any party hereto), the Closing hereunder does not occur, then no commission shall be due and payable to Buyer's Broker.
- (c) **Agency Disclosure.** Auctioneer has acted as agent for the Seller in this transaction and is to be paid a commission by Seller pursuant to a separate written agreement between Seller and Auctioneer. The said commission may be paid as a "Buyer's Premium".

**14. BREACH OF CONTRACT BY SELLER.** If Seller defaults in the performance of any of its obligations pursuant to this Contract, and Closing fails to occur by reason thereof, Buyer may terminate this Contract and receive the Deposit, or seek specific performance of this Agreement. In no event shall Seller or Auctioneer be liable for any damages including special, incidental or consequential damages, or economic loss and/or attorney fees.

**15. BREACH OF CONTRACT BY BUYER.** In the event the purchase and sale contemplated in this Contract is not consummated as a result of Buyer's default, Buyer's Down Payment/Deposit shall be forfeited to Seller, and Seller shall have all rights as allowed by law to file for damages, specific performance or cancellation of this transaction, with Buyer to be responsible for all costs of suit, including attorney's fees and court costs.

In addition, in the event that Seller is unable to collect on any check delivered by Buyer to Seller or Closing Agent, then, at Seller's option, without notice, this Contract may be terminated immediately and any Down Payment/Deposit held by Seller or Closing Agent shall be paid to Seller, and Seller may pursue any rights and remedies available at law or in equity.

**16. CASUALTY.** Except as herein provided, all risk of loss with respect to damage to the Property shall be borne by Seller until the Date of Closing; thereafter all risk of loss shall be borne by Buyer. In the event that the Property is, in the opinion of Seller, significantly damaged or is destroyed by fire or other casualty or hazard prior to Closing, Seller shall have the option to restore the Property to its pre-casualty condition or to cancel this Contract and Buyer's Down



Payment/ Deposit shall be returned as a complete and final settlement to Buyer of all Seller's obligations hereunder. Should Seller desire to restore the Property to its pre-casualty condition, Seller shall so notify Buyer and thereafter have 120 days to complete such restoration, with the Closing Date to be postponed accordingly.

**17. NOTICES.** All notices under this Contract shall be deemed delivered when personally delivered or mailed postage prepaid, certified or registered mail, return receipt requested, or when delivery by a courier service to the addresses set forth next to the signature of each party below. A copy of all notices given hereunder shall be delivered to Auctioneer and Closing Agent.

**18. WAIVER.** No failure or delay on the part of Seller in exercising any right of Seller nor any action on the part of Seller or any course of dealing or partial performance shall be deemed a waiver of any right of Seller set forth herein or a modification of any terms set forth herein.

**19. ENTIRE AGREEMENT; AMENDMENT.** This written Contract and the Exhibits, Schedules and Addenda attached hereto and made a part of this Contract signed by Buyer constitute the entire and complete agreement between the parties hereto and supersede any prior oral or written agreements between the parties with respect to the Property. This Contract may not be amended, altered, modified or discharged except by an instrument in writing signed by the Buyer and Seller.

**20. SEVERABILITY.** The invalidity of any provision of this Contract shall not affect the validity or enforceability of any other provision set forth herein.

**21. ASSIGNMENT.** Buyer may not assign this Contract or Buyer's rights hereunder without the prior written consent of Seller, which consent may be given or withheld in Seller's sole discretion.

**22. BINDING EFFECT.** This Contract shall be binding upon and inure to the benefit of the parties hereto, and their respective successors, personal representatives, legal representatives, heirs and assigns.

**23. COUNTERPARTS.** The Contract may be executed in one or more counterparts, each of which shall have the force and effect of an original, and all of which shall constitute but one document.

**24. ACKNOWLEDGEMENT.** The undersigned ("Buyer") certifies that he or she is of legal age and has full legal capacity and authority to understand, execute and deliver this Contract on behalf of himself or herself. If Buyer is purchasing the Property on behalf of a for-profit entity, non-profit organization, or public agency, the Buyer is executing this Contract on behalf of such entity and Buyer certifies to Seller that Buyer has the authority to execute this Contract on behalf of such entity, and that such entity shall be bound by the matters contained herein.

**25. ARBITRATION OF DISPUTES.** Any dispute or claim in law or equity between Seller and Buyer directly or indirectly arising out of or relating to this Contract or any resulting transaction (including any dispute regarding whether this arbitration clause is enforceable or applicable) shall be decided by a neutral, binding arbitration and not by court action, except as provided by Texas law for judicial enforcement or review of arbitration decisions. The arbitration shall be heard by one arbitrator and conducted by and in accordance with the commercial arbitration rules applicable in the State of Texas. Arbitration fees, including the fees and expenses of the arbitrator, shall be divided equally among the parties involved.

**26. ATTACHMENTS.** The following Attachments/Exhibits are attached hereto and fully incorporated herein by reference for all parties.

INWITNESS WHEREOF, the parties hereto have duly executed this Contract, as of the day and year first above written.

**Seller:** \_\_\_\_\_ (**"Seller"**)

Address: \_\_\_\_\_

By: \_\_\_\_\_

By: \_\_\_\_\_

**Buyer:** \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Social Security No. \_\_\_\_\_

Federal Tax ID No. \_\_\_\_\_

Phone No. (W): \_\_\_\_\_ (H): \_\_\_\_\_

**Buyer:** \_\_\_\_\_

Address: \_\_\_\_\_

Signature: \_\_\_\_\_

Print Name: \_\_\_\_\_

Social Security No. \_\_\_\_\_

Federal Tax ID No. \_\_\_\_\_

Phone No. (W): \_\_\_\_\_ (H): \_\_\_\_\_